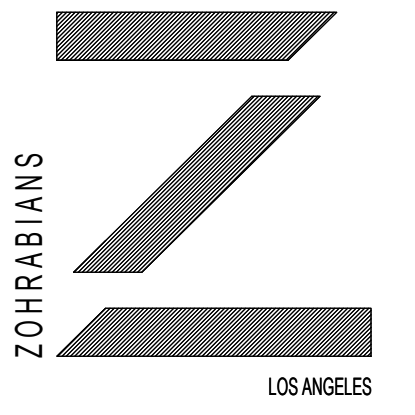


1 PROPOSED SUBTERRANEAN PARKING PLAN
SCALE 1/8" = 1'-0"



Zohrabians Architects and Builders, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208
T +1 818.236.3619
F +1 818.236.2171
zab@zohrabians.com
www.zohrabians.com

STAMP:

These drawings and specifications are the property and copyright of ZOHABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Anton Oganesyan
3510 N Verdugo Blvd.
Glendale, Ca. 91208

PROJECT:

Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd.
Glendale, Ca. 91208

REVISIONS

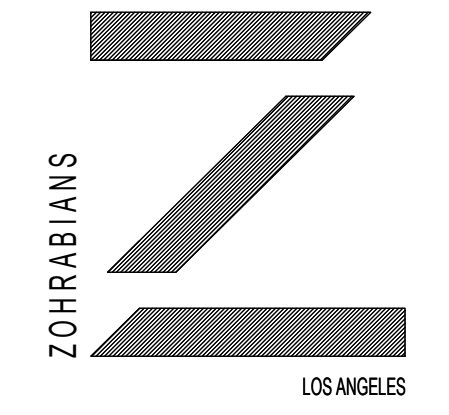
| DESCRIPTION | DATE | BY |
|-------------|------|----|
| | | |
| | | |
| | | |

SHEET TITLE:

PROPOSED SUBTERRANEAN
PARKING GARAGE PLAN

| | |
|------------|--------------|
| DATE | 04.25.18 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 053116 |
| SHEET | |

A3.1



Zohrabians Architects and Builders, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208
T +1 818.236.3619
F +1 818.236.2171
zab@zohrabians.com
www.zohrabians.com

STAMP:

These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:
Anton Oganesyan
3510 N Verdugo Blvd.
Glendale, Ca. 91208

PROJECT:
Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd.
Glendale, Ca. 91208

| REVISIONS | | |
|-------------|------|----|
| DESCRIPTION | DATE | BY |
| | | |
| | | |
| | | |

SHEET TITLE:
PROPOSED SITE AND FIRST FLOOR PLAN

| | |
|------------|--------------|
| DATE | 04.25.18 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 053116 |
| SHEET | |

A3.2

PROJECT DESCRIPTION:

NEW PROPOSED THREE STORY 14-UNIT APARTMENT / CONDOMINIUM OVER SEMI-SUBTERRANEAN PARKING GARAGE W/ FIRST FLOOR RETAIL AND PARKING STRUCTURE

PROJECT DATA:

LEGAL DESCRIPTIONS:
SPARR HEIGHTS LOTS 9 AND LOT 10 BLK 8
SPARR HEIGHTS LOTS 11, 12 AND LOT 13 BLK 8
SPARR HEIGHTS LOT 14 BLK 8
APN : 5613-006-004
APN : 5613-006-005
APN : 5613-006-006

TOTAL LOT AREA = 18,000 S.F.

ZONE = C3-1

ALLOWABLE NUMBER OF UNITS = 18,000 S.F./1,250 S.F. = 14.4 UNITS
PROPOSED NUMBER OF UNITS = 14

ALLOWABLE HEIGHT = 36 FT. + 5' FOR ROOFS W/ MIN. 3:12 = 41'
PROPOSED MAXIMUM BUILDING HEIGHT = 41'

LOT COVERAGE:

ALLOWABLE LOT COVERAGE = 50% X 18,000 s.f. = 9,000 s.f.
PROPOSED LOT COVERAGE = 13,895 s.f. = 77.2%

FLOOR AREA:

ALLOWABLE FLOOR AREA = 1.2 (18,000) = 21,600 s.f.
PROPOSED RESIDENTIAL FLOOR AREA = 18,818 s.f.
RESIDENTIAL CIRCULATION/EXIT CORRIDOR = 1,000 s.f.
PROPOSED COMMERCIAL FLOOR AREA = 2,762 s.f.
TOTAL PROPOSED FLOOR AREA = 22,580 s.f.

PARKING:

REQUIRED RESIDENTIAL PARKING:
2 CAR/2BR UNIT+2.5 CAR/3BR UNIT+3 CAR/4BR UNIT+0.25/UNIT (GUEST)
2 (3) + 2.5 (7) + 3 (4) + 0.25 (14) (GUEST) = 39 SPACES

PROPOSED RESIDENTIAL PARKING:
STANDARD = 37
HANDICAPPED = 2
TOTAL = 39

| PROPOSED COMMERCIAL USE | REQUIRED PARKING RATIO |
|-----------------------------|------------------------|
| GENERAL OFFICE | 2.7 / 1000 s.f. |
| RETAIL (Sales and services) | 4 / 1000 s.f. |
| Beauty Supply | 4 / 1000 s.f. |
| Nail / Hair Salon | 4 / 1000 s.f. |

PROPOSED COMMERCIAL PARKING:
STANDARD = 9
HANDICAPPED = 1
TOTAL = 10

OUTDOOR SPACE:

REQUIRED COMMON OUTDOOR SPACE = 200 s.f./UNIT = 2,800 s.f.
PROPOSED COMMON OUTDOOR SPACE = 2,809 s.f.
REQUIRED PRIVATE OUTDOOR SPACE = 40 s.f./UNIT
PROPOSED PRIVATE OPEN SPACE = 40 s.f./UNIT MIN.

PERMANENT LANDSCAPED OPEN SPACE:

MIN. OF TOTAL LOT AREA TO BE PERMANENTLY LANDSCAPED OPEN SPACE = 25% (18,000 s.f.) = 4,500 s.f.
PROPOSED PERMANENT LANDSCAPED OPEN SPACE = 4,575 s.f.

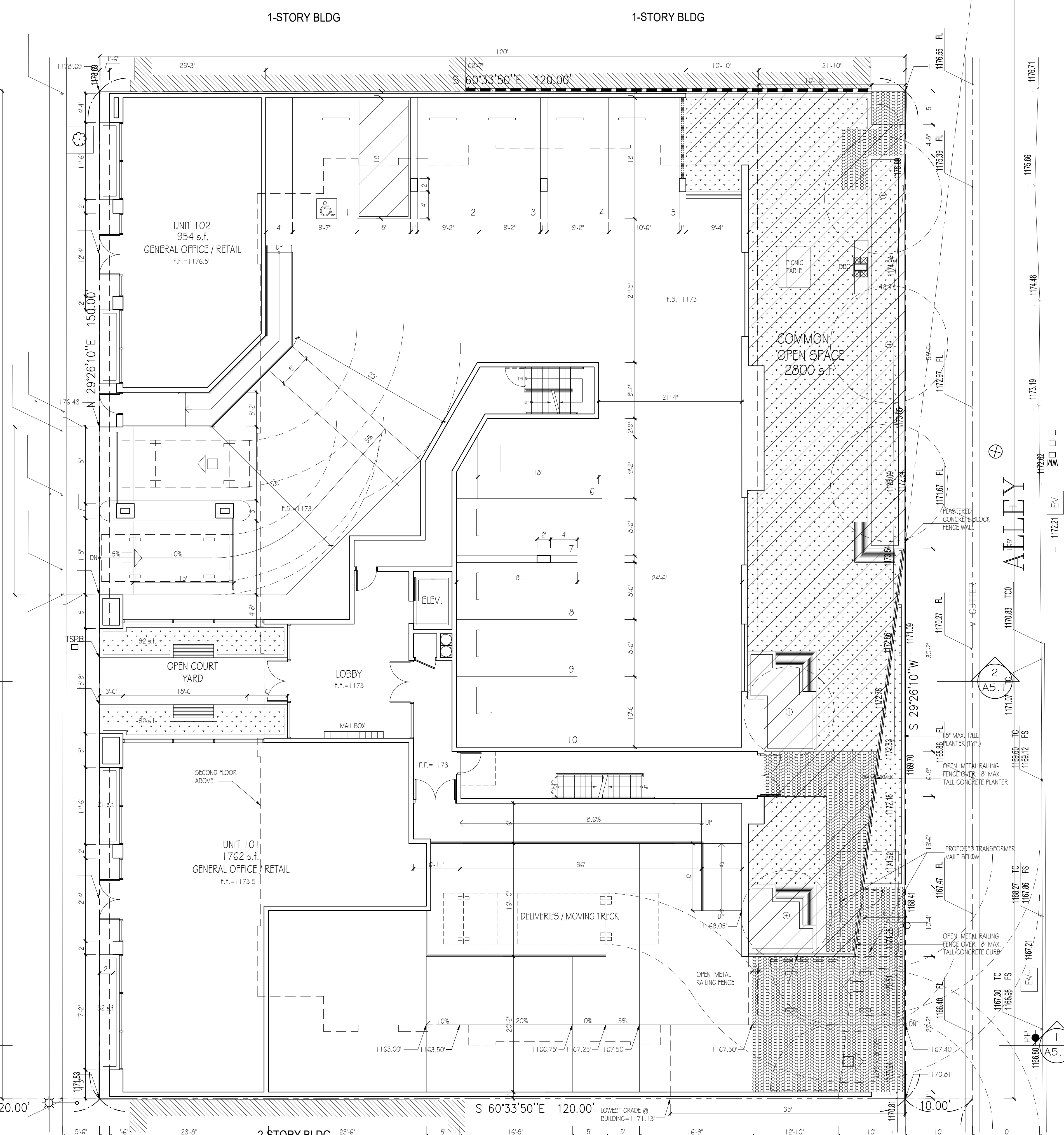
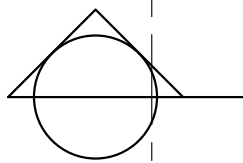
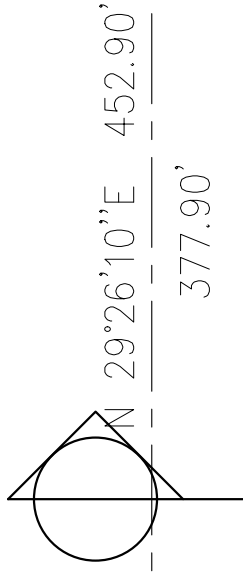
GRADE = (1178.48 + 1171.84) / 2 = 1175.16

ALLOWABLE SEMI-SUBTERRANEAN GARAGE DECK EL. = 1175.16 + 3 = 1178.16
PROPOSED SEMI-SUBTERRANEAN GARAGE DECK EL. = 1178

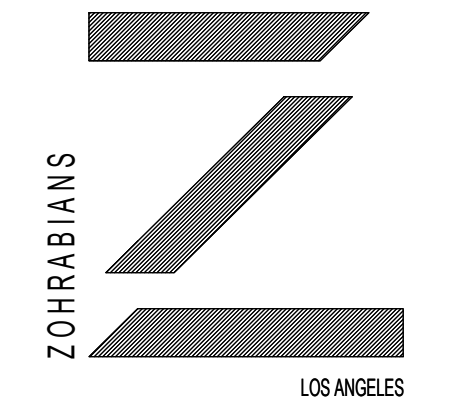
PERIMETER FENCE WALLS:

MAX. ALLOWABLE HEIGHT OF SOLID FENCE + GARAGE ABOVE ADJACENT GROUND LEVEL = 6.5'
LOWEST ADJACENT GROUND LEVEL = 1170'
MAX. ALLOWABLE TOP OF SOLID FENCE WALL = 1176.5'

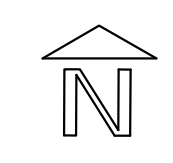
VERDUGO RD.



1 PROPOSED SITE AND FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



Zohrabians Architects and Builders, Inc.
 3467 Ocean View Blvd, Suite B
 Glendale, California 91208
 T +1 818.236.3619
 F +1 818.236.2171
 zab@zohrabians.com
 www.zohrabians.com



PROJECT DESCRIPTION:

NEW PROPOSED THREE STORY 14-UNIT APARTMENT / CONDOMINIUM
 OVER SEMI-SUBTERRANEAN PARKING GARAGE
 W/ FIRST FLOOR RETAIL AND PARKING STRUCTURE

PROJECT DATA:

LEGAL DESCRIPTIONS:
 SPARR HEIGHTS LOTS 9 AND LOT 10 BLK 8
 SPARR HEIGHTS LOTS 11, 12 AND LOT 13 BLK 8
 SPARR HEIGHTS LOT 14 BLK 8
 APN : 5613-006-004
 APN : 5613-006-005
 APN : 5613-006-006

TOTAL LOT AREA = 18,000 S.F.

ZONE = C3-1

ALLOWABLE NUMBER OF UNITS = 18,000 S.F./1,250 S.F. = 14.4 UNITS
 PROPOSED NUMBER OF UNITS = 14

ALLOWABLE HEIGHT = 36 FT. + 5' FOR ROOFS W/ MIN. 3:12 = 41'
 PROPOSED MAXIMUM BUILDING HEIGHT = 41'

LOT COVERAGE:

ALLOWABLE LOT COVERAGE = 50% X 18,000 S.F. = 9,000 S.F.
 PROPOSED LOT COVERAGE = 13,895 S.F. = 77.2%

FLOOR AREA:

ALLOWABLE FLOOR AREA = 1.2 (18,000) = 21,600 S.F.
 PROPOSED RESIDENTIAL FLOOR AREA = 18,818 S.F.
 RESIDENTIAL CIRCULATION/EXIT CORRIDOR = 1,000 S.F.
 PROPOSED COMMERCIAL FLOOR AREA = 2,762 S.F.
 TOTAL PROPOSED FLOOR AREA = 22,580 S.F.

PARKING:

REQUIRED RESIDENTIAL PARKING:
 2 CAR/2BR UNIT + 2.5 CARS/3BR UNIT + 3 CAR/4BR UNIT + 0.25/UNIT (GUEST)
 2 (3) + 2.5 (7) + 3 (4) + 0.25 (14) (GUEST) = 39 SPACES

PROPOSED RESIDENTIAL PARKING:

STANDARD = 37
 HANDICAPPED = 2
 TOTAL = 39

| PROPOSED COMMERCIAL USE | REQUIRED PARKING RATIO |
|-----------------------------|------------------------|
| GENERAL OFFICE | 2.7 / 1000 S.F. |
| RETAIL (Sales and services) | 4 / 1000 S.F. |
| Beauty Supply | 4 / 1000 S.F. |
| Nail / Hair Salon | 4 / 1000 S.F. |

PROPOSED COMMERCIAL PARKING:

STANDARD = 9
 HANDICAPPED = 1
 TOTAL = 10

OUTDOOR SPACE:

REQUIRED COMMON OUTDOOR SPACE = 200 S.F./UNIT = 2,800 S.F.
 PROPOSED COMMON OUTDOOR SPACE = 2,809 S.F.
 REQUIRED PRIVATE OUTDOOR SPACE = 40 S.F. / UNIT
 PROPOSED PRIVATE OPEN SPACE = 40 S.F. / UNIT MIN.

PERMANENT LANDSCAPED OPEN SPACE:

MIN. OF TOTAL LOT AREA TO BE PERMANENTLY
 PERMANENT LANDSCAPED OPEN SPACE = 25% (18,000 S.F.) = 4,500 S.F.
 PROPOSED PERMANENT LANDSCAPED OPEN SPACE = 4,575 S.F.

GRADE = (1178.48 + 1171.84) / 2 = 1175.16

ALLOWABLE SEMI-SUBTERRANEAN GARAGE DECK EL. = 1175.16 + 3 = 1178
 PROPOSED SEMI-SUBTERRANEAN GARAGE DECK EL. = 1178

PERIMETER FENCE WALLS:

MAX. ALLOWABLE HEIGHT OF SOLID FENCE + GARAGE
 ABOVE ADJACENT GROUND LEVEL = 6.5'
 LOWEST ADJACENT GROUND LEVEL = 1170'
 MAX. ALLOWABLE TOP OF SOLID FENCE WALL = 1176.5'

STAMP:

These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Anton Oganesyan
 3510 N Verdugo Blvd.
 Glendale, Ca. 91208

PROJECT:

Verdugo Terrace
 Luxury Apartments
 3510 N Verdugo Blvd.
 Glendale, Ca. 91208

REVISIONS

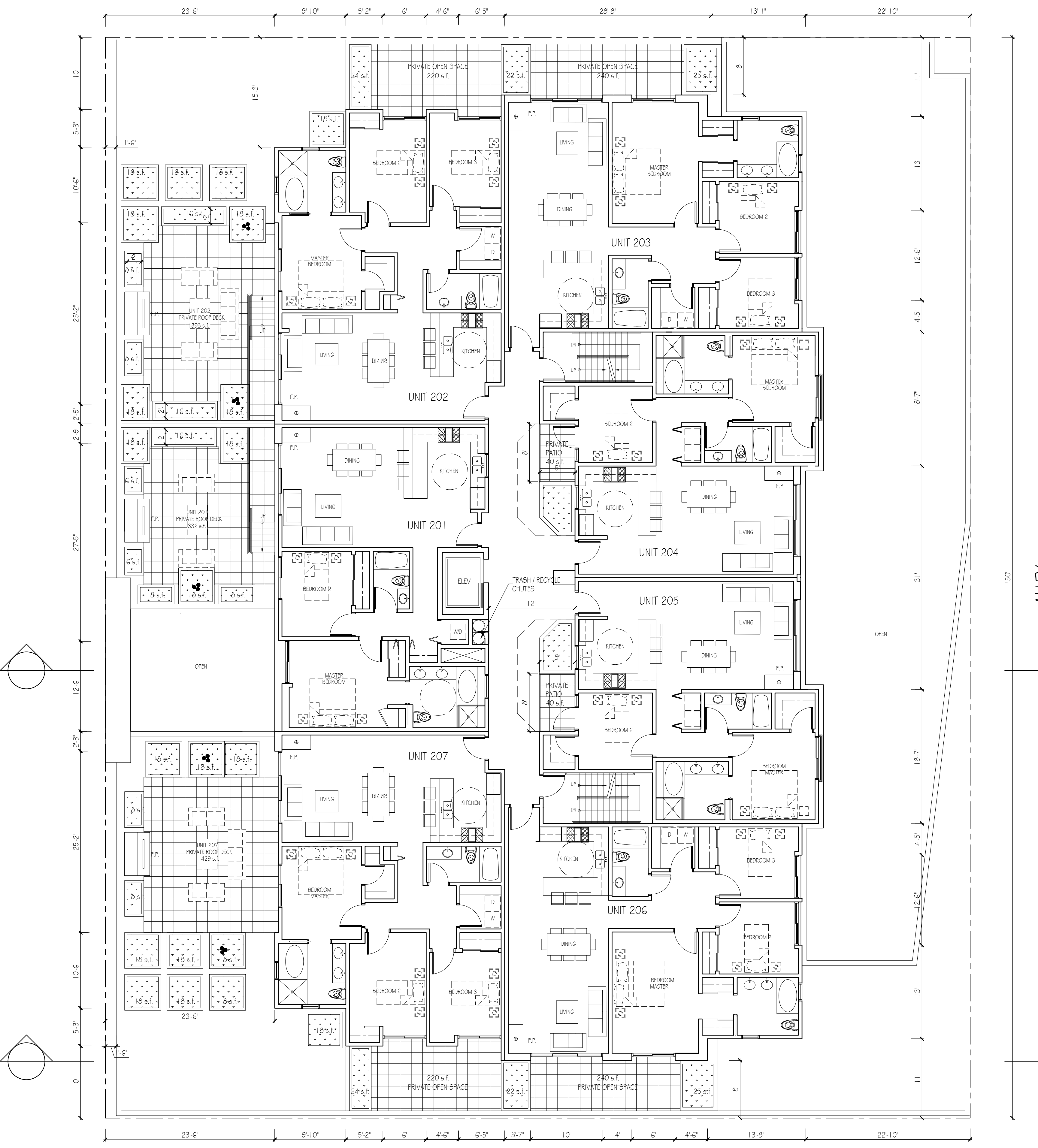
| DESCRIPTION | DATE | BY |
|-------------|------|----|
| | | |
| | | |
| | | |

SHEET TITLE:

PROPOSED SECOND FLOOR PLAN

| | |
|------------|--------------|
| DATE | 04.25.18 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 053116 |
| SHEET | |

A3.3



1 PROPOSED SECOND FLOOR PLAN
 SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION:
NEW PROPOSED THREE STORY 14-UNIT APARTMENT / CONDOMINIUM
OVER SEMI-SUBTERRANEAN PARKING GARAGE
W/ FIRST FLOOR RETAIL AND PARKING STRUCTURE

PROJECT DATA:
LEGAL DESCRIPTIONS:
SPARR HEIGHTS LOTS 9 AND LOT 10 BLK 8
SPARR HEIGHTS LOTS 11, 12 AND LOT 13 BLK 8
SPARR HEIGHTS LOT 14 BLK 8

APN : 5613-006-004
APN : 5613-006-005
APN : 5613-006-006

TOTAL LOT AREA = 18,000 S.F.
ZONE = C3-1

ALLOWABLE NUMBER OF UNITS = 18,000 S.F./1,250 S.F. = 14.4 UNITS
PROPOSED NUMBER OF UNITS = 14

ALLOWABLE HEIGHT = 36 FT. + 5' FOR ROOFS W/ MIN. 3:12 = 41'
PROPOSED MAXIMUM BUILDING HEIGHT = 41'

LOT COVERAGE:
ALLOWABLE LOT COVERAGE = 50% X 18,000 s.f. = 9,000 s.f.
PROPOSED LOT COVERAGE = 13,895 s.f. = 77.2%

FLOOR AREA:
ALLOWABLE FLOOR AREA = 1.2 (18,000) = 21,600 s.f.
PROPOSED RESIDENTIAL FLOOR AREA = 18,818 s.f.
RESIDENTIAL CIRCULATION/EXIT CORRIDOR = 1,000 s.f.
PROPOSED COMMERCIAL FLOOR AREA = 2,762 s.f.
TOTAL PROPOSED FLOOR AREA = 22,580 s.f.

PARKING:
REQUIRED RESIDENTIAL PARKING:
2 CAR/2BR UNIT+2.5 CARS/3BR UNIT+3 CAR/4BR UNIT+0.25/UNIT (GUEST)
2 (3) + 2.5 (7) + 3 (4) + 0.25 (14) (GUEST) = 39 SPACES
PROPOSED RESIDENTIAL PARKING:
STANDARD = 37
HANDICAPPED = 2
TOTAL = 39

| PROPOSED COMMERCIAL USE | REQUIRED PARKING RATIO |
|-----------------------------|------------------------|
| GENERAL OFFICE | 2.7 / 1000 s.f. |
| RETAIL (Sales and services) | 4 / 1000 s.f. |
| Beauty Supply | 4 / 1000 s.f. |
| Nail / Hair Salon | 4 / 1000 s.f. |

PROPOSED COMMERCIAL PARKING:
STANDARD = 9
HANDICAPPED = 1
TOTAL = 10

OUTDOOR SPACE:
REQUIRED COMMON OUTDOOR SPACE = 200 s.f./UNIT = 2,800 s.f.
PROPOSED COMMON OUTDOOR SPACE = 2,809 s.f.
REQUIRED PRIVATE OUTDOOR SPACE = 40 s.f./ UNIT
PROPOSED PRIVATE OPEN SPACE = 40 s.f./ UNIT MIN.

PERMANENT LANDSCAPED OPEN SPACE:
MIN. OF TOTAL LOT AREA TO BE PERMANENTLY
PERMANENT LANDSCAPED OPEN SPACE = 25% (18,000 s.f.) = 4,500 s.f.
PROPOSED PERMANENT LANDSCAPED OPEN SPACE = 4,575 s.f.

GRADE = (1178.48 + 1171.84) / 2 = 1175.16
ALLOWABLE SEMI-SUBTERRANEAN GARAGE DECK EL. = 1175.16 + 3 = 1178
PROPOSED SEMI-SUBTERRANEAN GARAGE DECK EL. = 1178

PERIMETER FENCE WALLS:
MAX. ALLOWABLE HEIGHT OF SOLID FENCE + GARAGE ABOVE ADJACENT GROUND LEVEL = 6.5'
LOWEST ADJACENT GROUND LEVEL = 1170'
MAX. ALLOWABLE TOP OF SOLID FENCE WALL = 1176.5'

STAMP:

These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:
Anton Oganesyan
3510 N Verdugo Blvd.
Glendale, Ca. 91208

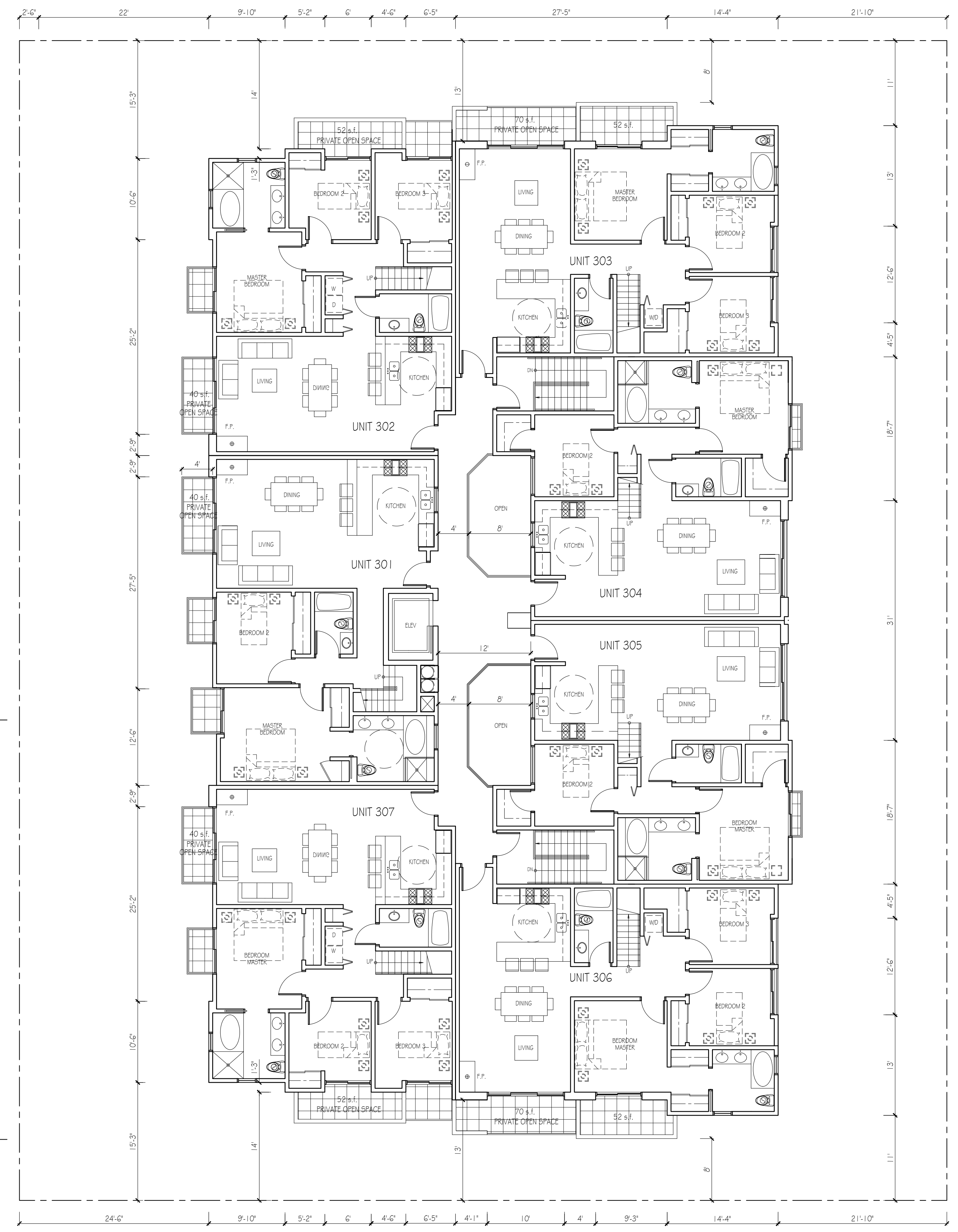
PROJECT:
Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd.
Glendale, Ca. 91208

| REVISIONS | | |
|-------------|------|----|
| DESCRIPTION | DATE | BY |
| | | |
| | | |
| | | |

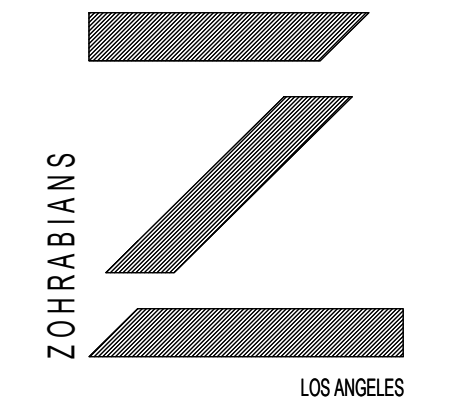
SHEET TITLE:
PROPOSED THIRD FLOOR PLAN

| | |
|------------|--------------|
| DATE | 04.25.18 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 053116 |
| SHEET | |

A3.4



1 PROPOSED THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"



Zohrabians Architects and Builders, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208
T +1 818.236.3619
F +1 818.236.2171
zab@zohrabians.com
www.zohrabians.com

STAMP:

These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:
Anton Oganesyan
3510 N Verdugo Blvd.
Glendale, Ca. 91208

PROJECT:
Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd.
Glendale, Ca. 91208

| REVISIONS | | |
|-------------|------|----|
| DESCRIPTION | DATE | BY |
| | | |
| | | |
| | | |

SHEET TITLE:
PROPOSED LOFT PLAN

| | |
|------------|--------------|
| DATE | 04.25.18 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 05311G |
| SHEET | |

A3.5

PROJECT DESCRIPTION:

NEW PROPOSED THREE STORY 14-UNIT APARTMENT / CONDOMINIUM OVER SEMI-SUBTERRANEAN PARKING GARAGE W/ FIRST FLOOR RETAIL AND PARKING STRUCTURE

PROJECT DATA:

LEGAL DESCRIPTIONS:
SPARR HEIGHTS LOTS 9 AND LOT 10 BLK 8
SPARR HEIGHTS LOTS 11, 12 AND LOT 13 BLK 8
SPARR HEIGHTS LOT 14 BLK 8
APN : 5613-006-004
APN : 5613-006-005
APN : 5613-006-006

TOTAL LOT AREA = 18,000 S.F.

ZONE = C3-1

ALLOWABLE NUMBER OF UNITS = 18,000 S.F./1,250 S.F. = 14.4 UNITS
PROPOSED NUMBER OF UNITS = 14

ALLOWABLE HEIGHT = 36 FT. + 5' FOR ROOFS W/ MIN. 3:12 = 41'
PROPOSED MAXIMUM BUILDING HEIGHT = 41'

LOT COVERAGE:

ALLOWABLE LOT COVERAGE = 50% X 18,000 s.f. = 9,000 s.f.
PROPOSED LOT COVERAGE = 13,895 s.f. = 77.2%

FLOOR AREA:

ALLOWABLE FLOOR AREA = 1.2 (18,000) = 21,600 s.f.
PROPOSED RESIDENTIAL FLOOR AREA = 18,818 s.f.
RESIDENTIAL CIRCULATION/EXIT CORRIDOR = 1,000 s.f.
PROPOSED COMMERCIAL FLOOR AREA = 2,762 s.f.
TOTAL PROPOSED FLOOR AREA = 22,580 s.f.

PARKING:

REQUIRED RESIDENTIAL PARKING:
2 CAR/2BR UNIT + 2.5 CAR/3BR UNIT + 3 CAR/4BR UNIT + 0.25/UNIT (GUEST)
2 (3) + 2.5 (7) + 3 (4) + 0.25 (14) (GUEST) = 39 SPACES

PROPOSED RESIDENTIAL PARKING:
STANDARD = 37
HANDICAPPED = 2
TOTAL = 39

| PROPOSED COMMERCIAL USE | REQUIRED PARKING RATIO |
|-----------------------------|------------------------|
| GENERAL OFFICE | 2.7 / 1000 s.f. |
| RETAIL (Sales and services) | 4 / 1000 s.f. |
| Beauty Supply | 4 / 1000 s.f. |
| Nail / Hair Salon | 4 / 1000 s.f. |

PROPOSED COMMERCIAL PARKING:
STANDARD = 9
HANDICAPPED = 1
TOTAL = 10

OUTDOOR SPACE:

REQUIRED COMMON OUTDOOR SPACE = 200 s.f./UNIT = 2,800 s.f.
PROPOSED COMMON OUTDOOR SPACE = 2,809 s.f.
REQUIRED PRIVATE OUTDOOR SPACE = 40 s.f. / UNIT
PROPOSED PRIVATE OPEN SPACE = 40 s.f. / UNIT MIN.

PERMANENT LANDSCAPED OPEN SPACE:

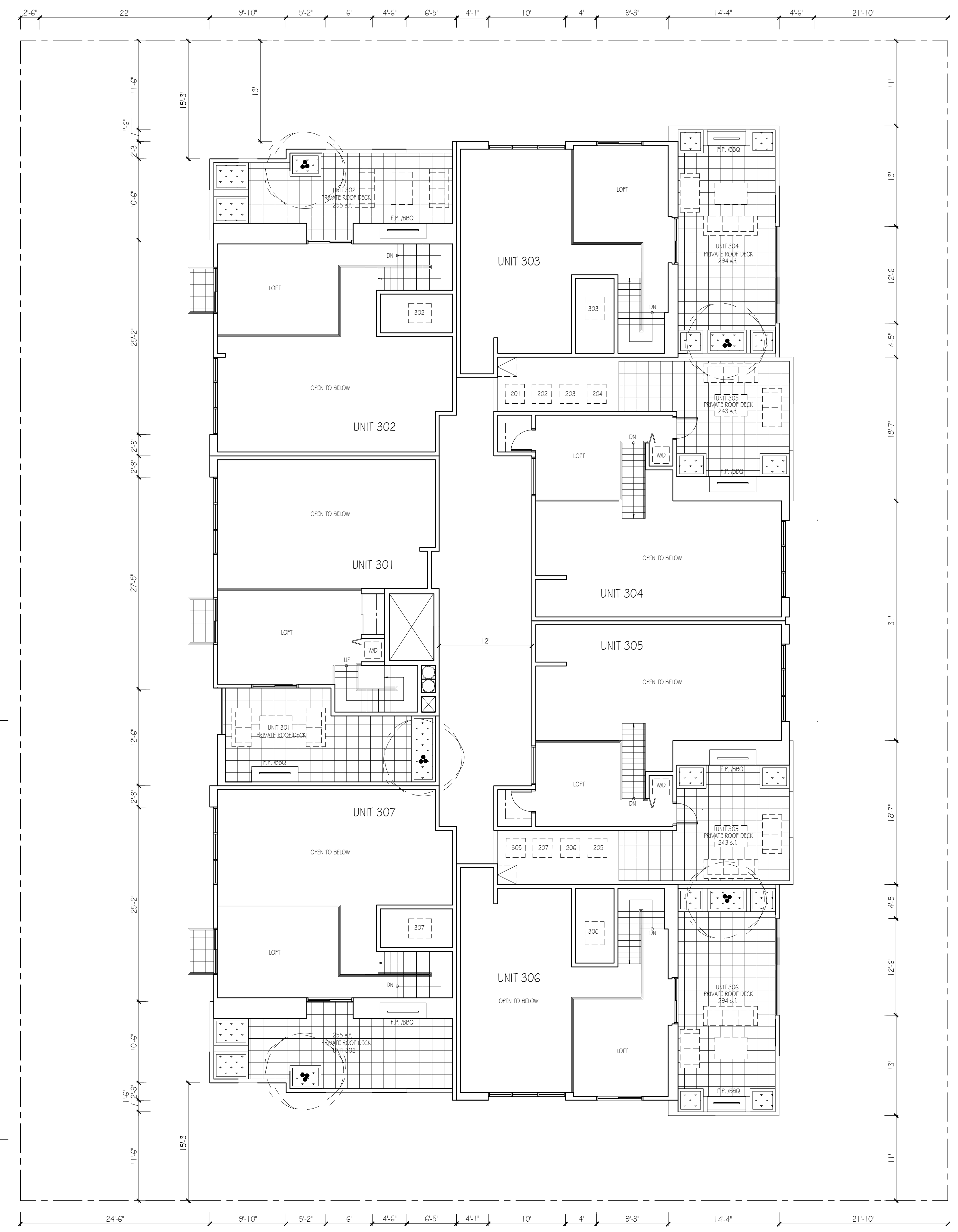
MIN. OF TOTAL LOT AREA TO BE PERMANENTLY
PERMANENT LANDSCAPED OPEN SPACE = 25% (18,000 s.f.) = 4,500 s.f.
PROPOSED PERMANENT LANDSCAPED OPEN SPACE = 4,575 s.f.

GRADE = (1178.48 + 1171.84) / 2 = 1175.16

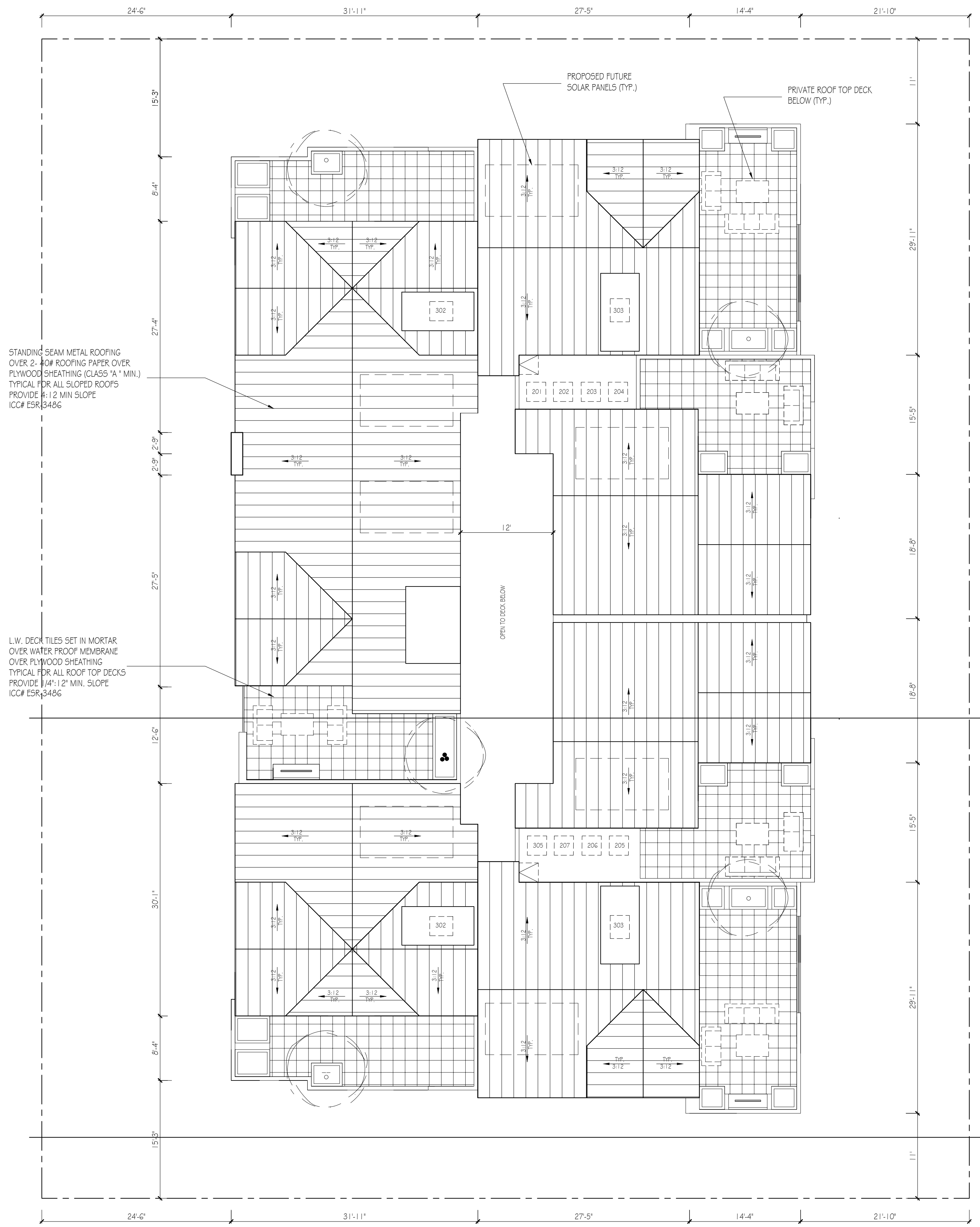
ALLOWABLE SEMI-SUBTERRANEAN GARAGE DECK EL. = 1175.16 + 3 = 1178'
PROPOSED SEMI-SUBTERRANEAN GARAGE DECK EL. = 1178'

PERIMETER FENCE WALLS:

MAX. ALLOWABLE HEIGHT OF SOLID FENCE + GARAGE ABOVE ADJACENT GROUND LEVEL = 6.5'
LOWEST ADJACENT GROUND LEVEL = 1170'
MAX. ALLOWABLE TOP OF SOLID FENCE WALL = 1176.5'



PROPOSED LOFT LEVEL PLAN
SCALE 1/8" = 1'-0"



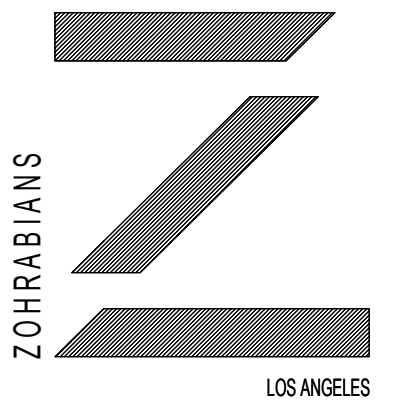
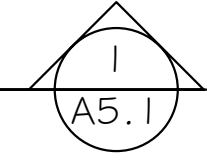
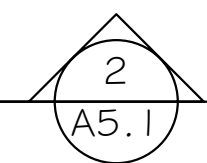
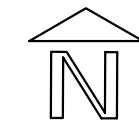
STANDING SEAM METAL ROOFING
OVER 2-40# ROOFING PAPER OVER
PLYWOOD SHEATHING (CLASS 'A' MIN.)
TYPICAL FOR ALL SLOPED ROOFS
PROVIDE 4:12 MIN. SLOPE
ICC# ESR-3486

L.W. DECK TILES SET IN MORTAR
OVER WATER PROOF MEMBRANE
OVER PLYWOOD SHEATHING
TYPICAL FOR ALL ROOF TOP DECKS
PROVIDE 1/4":12" MIN. SLOPE
ICC# ESR-3486

SOLAR SYSTEM
REQUIRED AREA FOR FUTURE SOLAR INSTALLATION = 250 S.F. MIN.
SOLAR PANELS = 12' x 6'-8" = 80 S.F.
TOTAL AREA (4) 80 S.F. = 320 S.F. > 250 S.F.

FUTURE ACCESS FOR SOLAR SYSTEM
PROVIDE FUTURE ACCESS FOR SOLAR SYSTEM. PROVIDE
A MINIMUM OF ONE-INCH ELECTRICAL CONDUIT FROM THE
ELECTRICAL SERVICE EQUIPMENT TO AN ACCESSIBLE LOCATION
IN THE ATTIC OR OTHER APPROVED LOCATIONS

1 PROPOSED ROOF PLAN
SCALE 1/8" = 1'-0"



Zohrabians Architects and Builders, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208
T +1 818.236.3619
F +1 818.236.2171
zab@zohrabians.com
www.zohrabians.com

STAMP:

These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Anton Oganesyan
3510 N Verdugo Blvd.
Glendale, Ca. 91208

PROJECT:

Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd.
Glendale, Ca. 91208

REVISIONS

| DESCRIPTION | DATE | BY |
|-------------|------|----|
| | | |
| | | |
| | | |

SHEET TITLE:

PROPOSED ROOF PLAN

| | |
|------------|--------------|
| DATE | 04.25.18 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 053116 |
| SHEET | |

A3.6



STAMP:

These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:
Anton Oganesyan
3510 N Verdugo Blvd.
Glendale, Ca. 91208

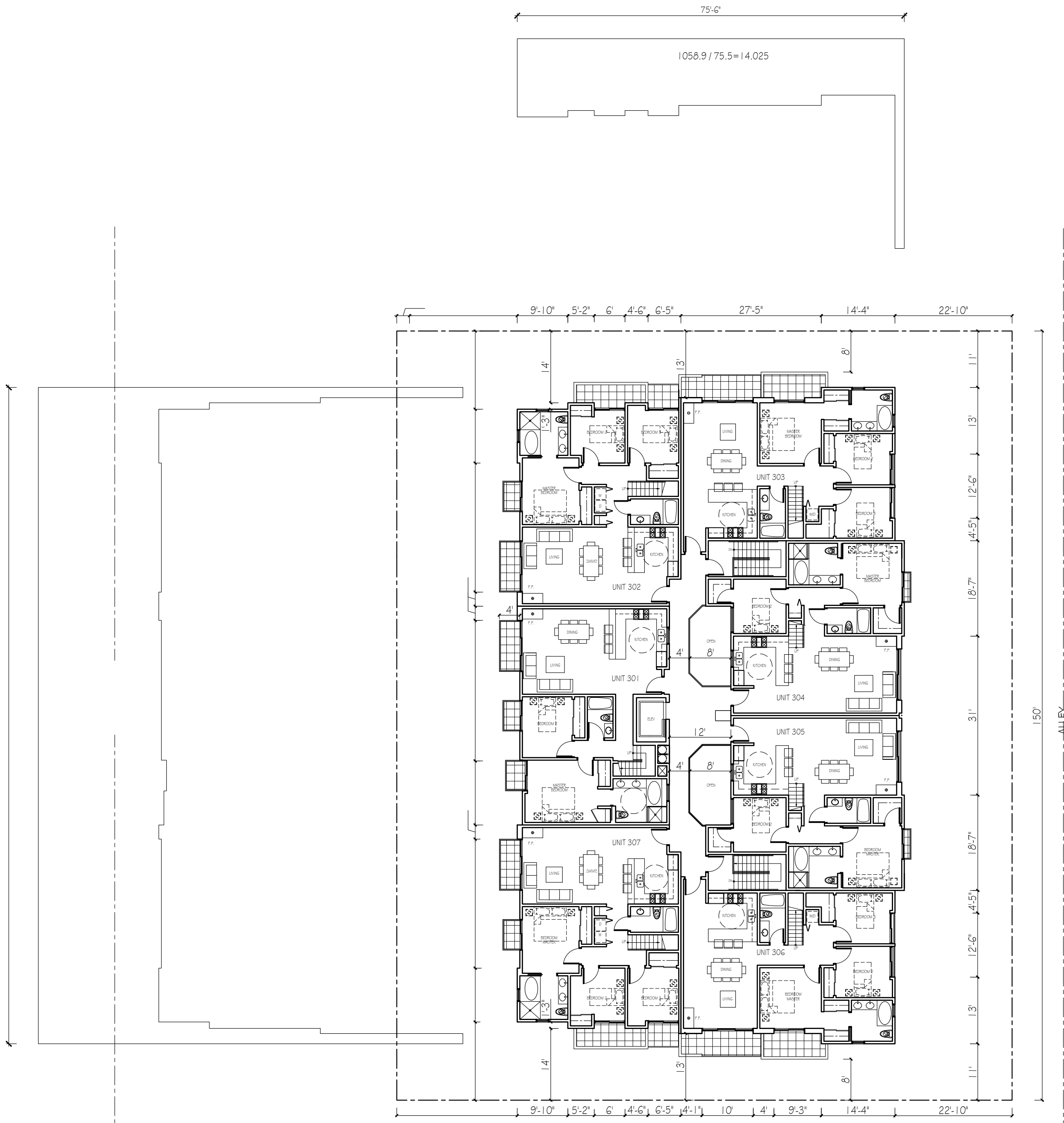
PROJECT:
Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd.
Glendale, Ca. 91208

| REVISIONS | | |
|-------------|------|----|
| DESCRIPTION | DATE | BY |
| | | |
| | | |
| | | |

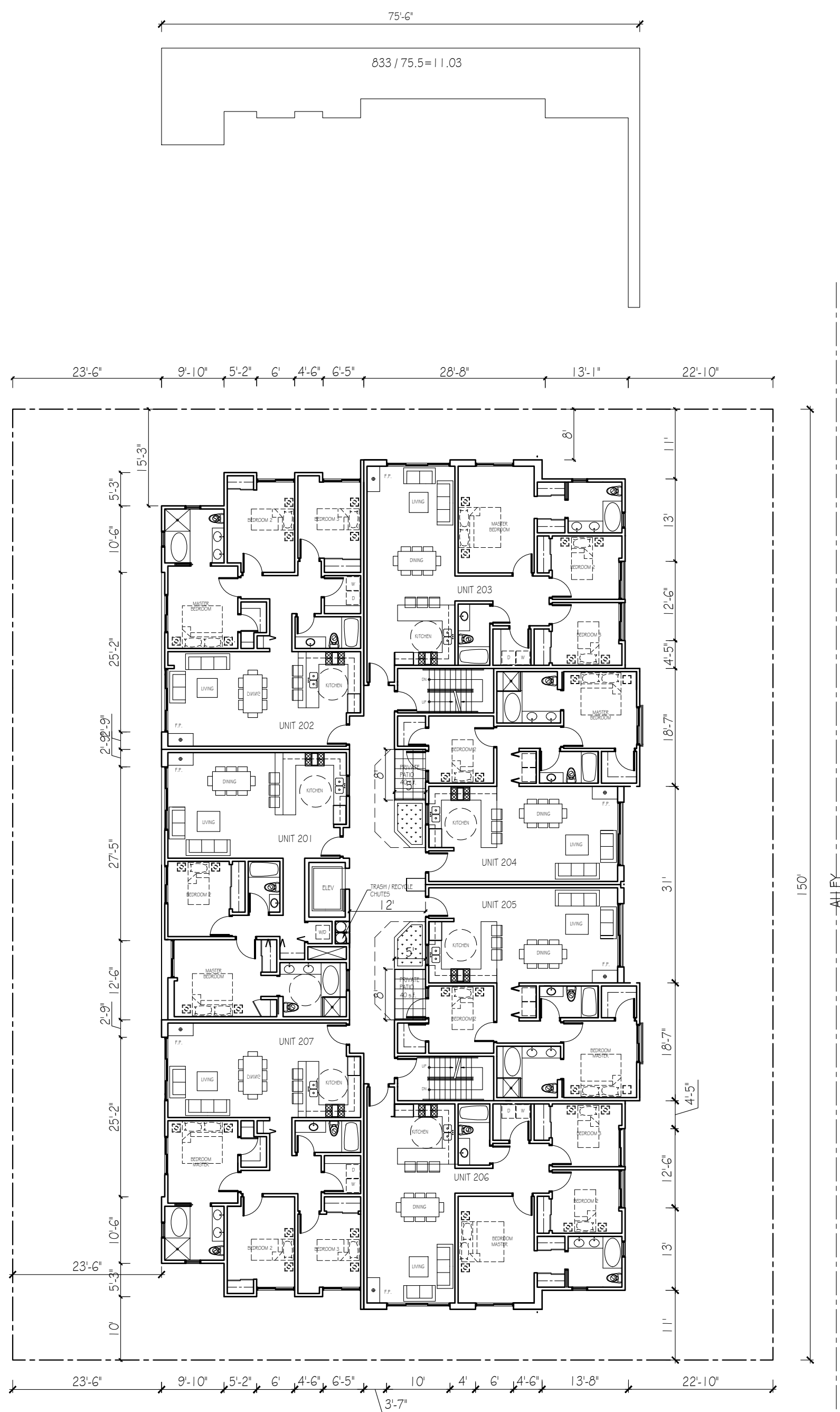
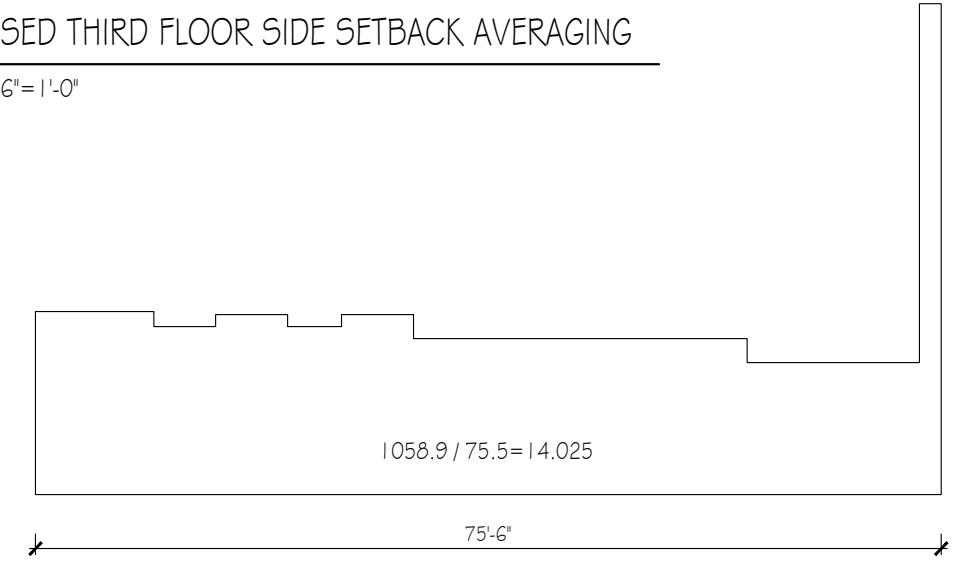
SHEET TITLE:
PROPOSED SETBACK
AVERAGING PLAN

| | |
|------------|---------------|
| DATE | 04.25.18 |
| SCALE | 1/16" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 05311G |
| SHEET | |

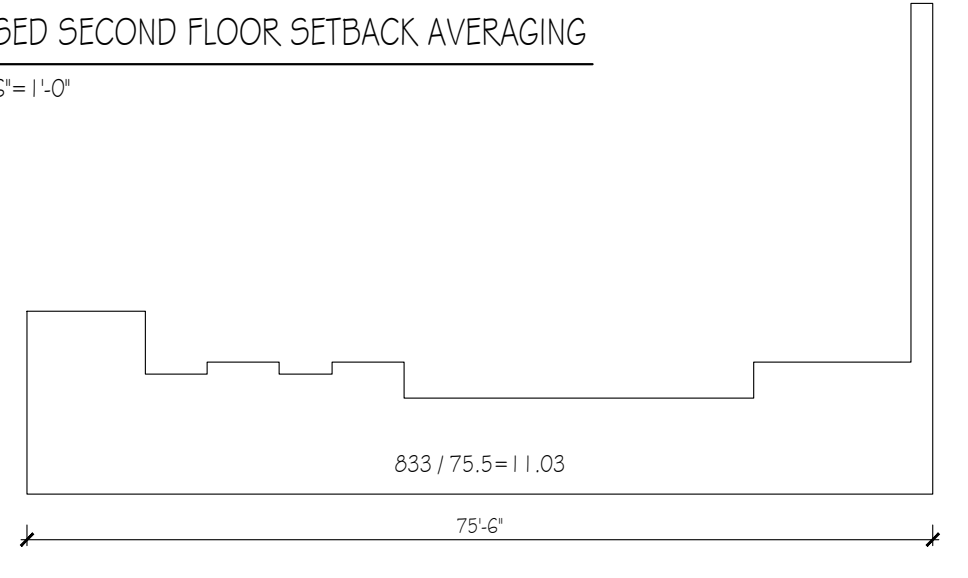
A3.7

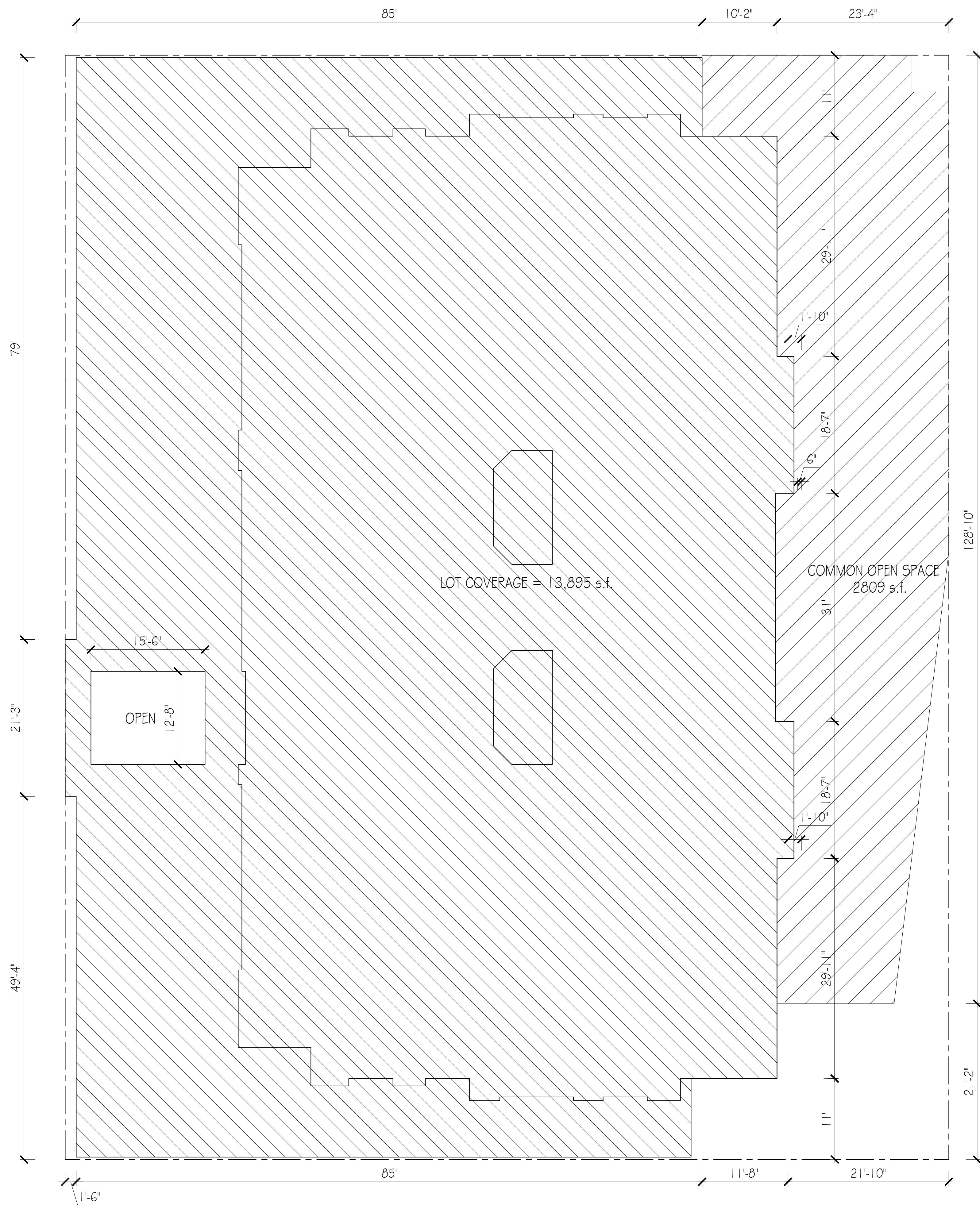


PROPOSED THIRD FLOOR SIDE SETBACK AVERAGING
SCALE 1/16" = 1'-0"

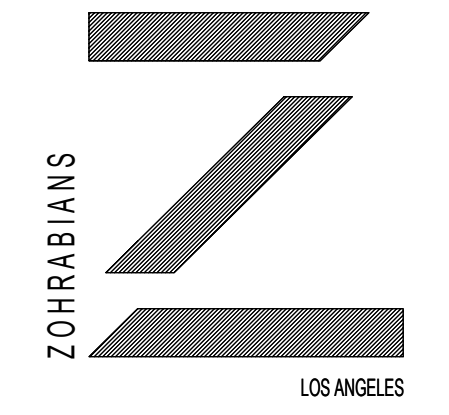


PROPOSED SECOND FLOOR SETBACK AVERAGING
SCALE 1/16" = 1'-0"





1 PROPOSED LOT COVERAGE AND COMMON OPEN SPACE CALCULATIONS
SCALE 1/8" = 1'-0"



Zohrabians Architects and Builders, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208
T +1 818.236.3619
F +1 818.236.2171
zab@zohrabians.com
www.zohrabians.com

STAMP:

These drawings and specifications are the property and copyright of ZOHABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:
Anton Oganesyan
3510 N Verdugo Blvd.
Glendale, Ca. 91208

PROJECT:
Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd.
Glendale, Ca. 91208

| REVISIONS | | |
|-------------|------|----|
| DESCRIPTION | DATE | BY |
| | | |
| | | |
| | | |

SHEET TITLE:
PROPOSED LOT COVERAGE AND COMMON OPEN SPACE AREA CALCULATIONS

| | |
|------------|--------------|
| DATE | 04.25.18 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 05311G |
| SHEET | |

A3.8



1 PROPOSED BUILDING WEST ELEVATION
SCALE 1/8"=1'-0"



2 PROPOSED BUILDING SOUTH ELEVATION
SCALE 1/8"=1'-0"

FINISH KEY NOTES:

- 1" SMOOTH FINISHED CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2X6 @ 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE. COLOR: WHITE
- STONE TILES CEMENTED OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2X6 @ 16" O.C. AND A LAYER OF 5/8" TYPE "X" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE. COLOR: DARK BROWN
- HARDIPLANK LAP SIDING WIDTH 8.25", EXPOSURE 7" COLOR: DARK GREY
COLOR: TO MATCH WINDOW FRAME
4. STANDING SEAM METAL ROOF COVERING
- PRE-PAINTED METAL GUTTER AND DOWN SPOUT COLOR: DARK BRONZE
COLOR: DARK BRONZE
6. PAINTED METAL RAILING
- PAINTED METAL CHIMNEY CAP COLOR: DARK BRONZE
- FIBERGLASS CLAD WOOD FRAMED DUAL GLAZED WINDOW COLOR: DARK BRONZE
- FIBERGLASS CLAD WOOD FRAMED DUAL GLAZED DOOR COLOR: MATCH WINDOW FRAMES
10. ANODIZED ALUMINUM CLAD
- COLOR: DARK BRONZE
11. ANODIZED ALUMINUM STOREFRONT
12. ANODIZED ALUMINUM STOREFRONT DOOR
13. ANODIZED ALUMINUM STOREFRONT DOOR

STAMP:

These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Anton Oganesyan
3510 N Verdugo Blvd.
Glendale, Ca. 91208

PROJECT:

Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd.
Glendale, Ca. 91208

REVISIONS

| DESCRIPTION | DATE | BY |
|-------------|------|----|
| | | |
| | | |
| | | |

SHEET TITLE:

PROPOSED BUILDING WEST AND SOUTH ELEVATIONS

| | |
|------------|--------------|
| DATE | 04.25.18 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 05311G |
| SHEET | |

A4.1

STAMP:

These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Anton Oganesyan
3510 N Verdugo Blvd.
Glendale, Ca. 91208

PROJECT:

Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd.
Glendale, Ca. 91208

REVISIONS

| DESCRIPTION | DATE | BY |
|-------------|------|----|
| | | |
| | | |
| | | |

SHEET TITLE:

PROPOSED BUILDING EAST AND NORTH ELEVATIONS

| | |
|------------|--------------|
| DATE | 04.25.18 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 05311G |
| SHEET | |



1 PROPOSED BUILDING EAST ELEVATION
SCALE 1/8" = 1'-0"



2 PROPOSED BUILDING NORTH ELEVATION
SCALE 1/8" = 1'-0"

FINISH KEY NOTES:

- 1" SMOOTH FINISHED CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2x6 @ 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE. COLOR: WHITE
- STONE TILES CEMENTED OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2x6 @ 16" O.C. AND A LAYER OF 5/8" TYPE X GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE. COLOR: DARK BROWN
- HARDIEPLANK LAP SIDING WIDTH 8.25", EXPOSURE 7". COLOR: DARK GREY
- STANDING SEAM METAL ROOF COVERING
- PRE-PAINTED METAL GUTTER AND DOWN SPOUT. COLOR: DARK BRONZE
- PAINTED METAL RAILING
- PAINTED METAL CHIMNEY CAP. COLOR: DARK BRONZE
- FIBERGLASS CLAD WOOD FRAMED DUAL GLAZED WINDOW. COLOR: DARK BRONZE
- FIBERGLASS CLAD WOOD FRAMED DUAL GLAZED DOOR. COLOR: DARK BRONZE
- MATCH WINDOW FRAMES
- ANODIZED ALUMINUM CLAD
- PAINTED METAL STOREFRONT
- PAINTED METAL STOREFRONT DOOR
- PAINTED METAL GATE

STAMP:

These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:
Anton Oganesyan
3510 N Verdugo Blvd.
Glendale, Ca. 91208

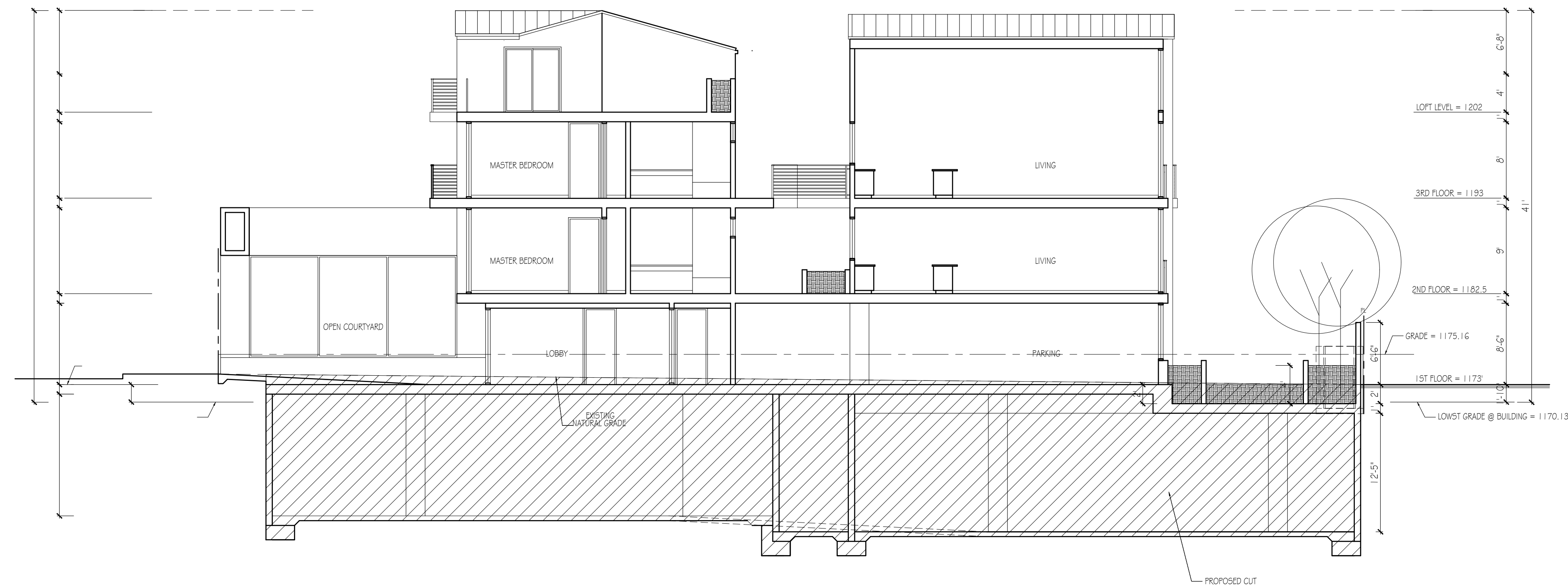
PROJECT:
Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd.
Glendale, Ca. 91208

| REVISIONS | | |
|-------------|------|----|
| DESCRIPTION | DATE | BY |
| | | |
| | | |
| | | |

SHEET TITLE:
PROPOSED BUILDING SECTIONS

| | |
|------------|--------------|
| DATE | 04.25.18 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 05311G |
| SHEET | |

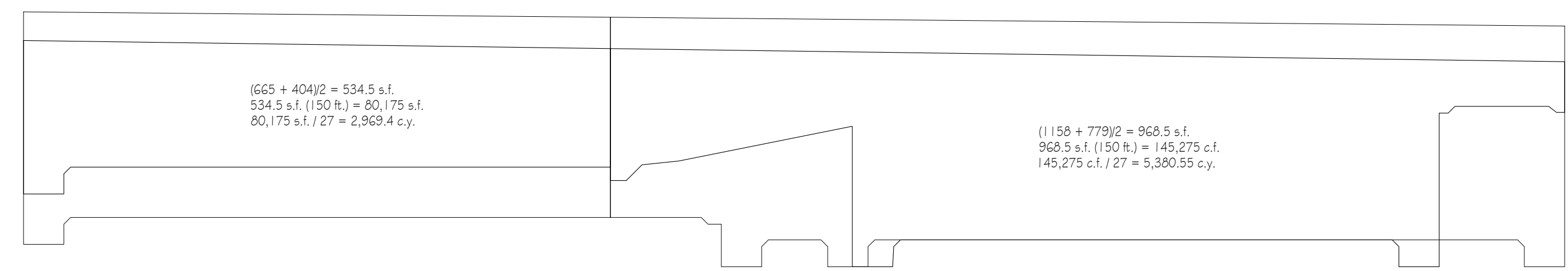
A5.1



2 PROPOSED BUILDING CROSS SECTION
SCALE 1/8" = 1'-0"



1 PROPOSED BUILDING CROSS SECTION
SCALE 1/8" = 1'-0"



(665 + 404)2 = 534.5 s.f.
534.5 s.f. (150 ft.) = 80,175 s.f.
80,175 s.f. / 27 = 2,969.4 c.y.

(1158 + 779)2 = 968.5 s.f.
968.5 s.f. (150 ft.) = 145,275 c.f.
145,275 c.f. / 27 = 5,380.55 c.y.

PROPOSED CUT AND FILL:
PROPOSED CUT :
5,380.55 c.y. + 2,969.4 c.y. = 8,349.95 c.y.
PROPOSED FILL = 0 c.y.
TOTAL GRADING CUT = 8,349.95 c.y.

STAMP:

These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

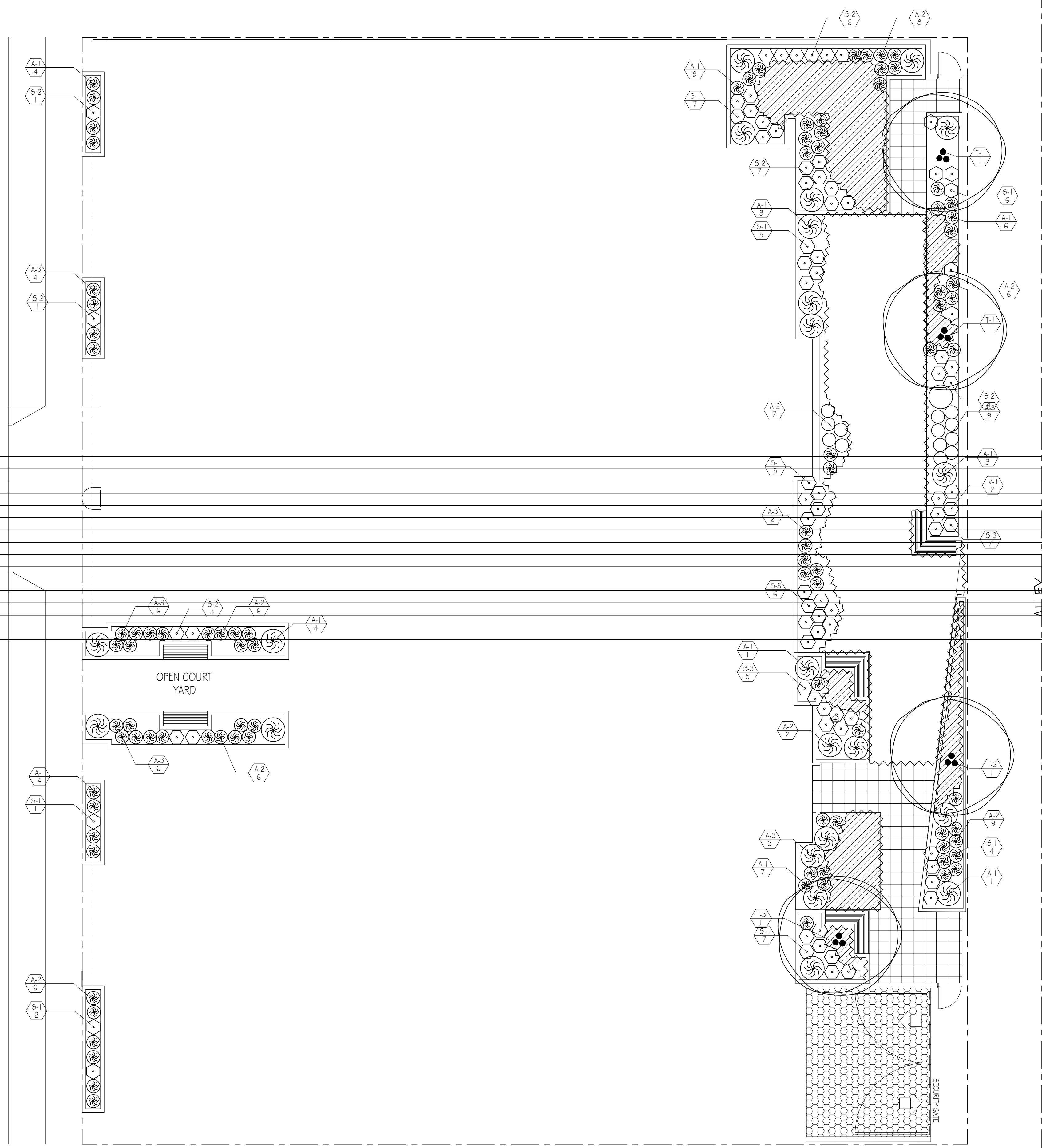
CLIENT:
Anton Oganesyan
3510 N Verdugo Blvd.
Glendale, Ca. 91208

PROJECT:
Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd.
Glendale, Ca. 91208

| REVISIONS | | |
|-------------|------|----|
| DESCRIPTION | DATE | BY |
| | | |
| | | |

SHEET TITLE:
PROPOSED LANDSCAPE PLAN

| | |
|------------|--------------|
| DATE | 04.25.18 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | MH |
| JOB NUMBER | 05311G |
| SHEET | L-1 |



| SIZE | QTY. | SPACING |
|---------|-----------|----------|
| 24" BX. | 2 | - |
| 24" BX. | 1 | - |
| 15 GAL. | 1 | - |
| 5 GAL. | 40 | 5' O.C. |
| 5 GAL. | 23 | 4' O.C. |
| 5 GAL. | 18 | - |
| 15 GAL. | 42 | RANDOM |
| 5 GAL. | 50 | RANDOM |
| 5 GAL. | 30 | " |
| 5 GAL. | 3 | RANDOM |
| SOD | - | - |
| FLATS | AS NEEDED | 12" O.C. |

PALO VERDE MULTI. TRUNK

- PROPOSED GROUND COVER

1 PROPOSED LANDSCAPE PLAN
SCALE 1/8" = 1'-0"