



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

November 2, 2023

Decision Date

1201 San Luis Rey Drive, 91208

Address

Administrative Design Review (ADR)

Review Type

5614-028-032

APN

PADR-001035-2023

Case Number

Nareg Khodadadi

Applicant

Chloe Cuffel, Planner

Case Planner

Gevorg Nazaryan

Owner

Project Summary

The project proposes adding a total of 816 square feet at the front and rear of an existing single-story, 1,918 square-foot single-family dwelling (built in 1957) with an attached 395 square-foot garage located on a 11,520 square-foot corner lot. The proposed addition includes 263 square feet at the front façade, 553 square feet at the rear, and an attached 332 square-foot covered patio. The total floor area of the house with the additions combined will be 2,734.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 50% of the floor area of the structure before the addition.

Existing Property/Background

Originally developed in 1957, the project site is an 11,520 square-foot rectangular-shaped corner lot that fronts San Luis Rey and has driveway access off Via Saldivar. The site was developed with a 1,918 square-foot, one-story single-family residence, and an attached 395 square-foot two-car garage. The house was designed in a Colonial Ranch style, featuring two front facing gables, brick cladding, and dentils along the roofline. A pool was added to the back yard in 2022. There are no Oak, Bay or Sycamore trees on the property.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: R1R – FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

The Building permit for this clearance is currently in review (BSFD-008322-2023).

Site Slope and Grading

Less than 50% current average slope and less than 1,500 cubic yards of earth movement (cut and/or fill); no additional review required.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	16,980 sq. ft.	46,350 sq. ft. – 11,520 sq. ft.	11,520 sq. ft.
Setback	26 feet	10 feet – 50 feet	37.5 feet
House size	2,265	3,792 sq. ft. – 1,344 sq. ft.	2,734 sq. ft.
Floor Area Ratio	0.13	0.08 – 0.24	0.24
Number of stories	17 homes are 1-story, 3 homes are 2-stories, 1 home is 3-stories	1 to 2-stories	1-story

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If “no” select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography
- Alteration of landform minimized

Yards and Usable Open Space

yes **n/a** **no**

If “no” select from below and explain:

- Avoid altering landform to create flat yards
- Outdoor areas integrated into open space
- Use of retaining walls minimized

- Provide landscaping to reduce visual impact of retaining walls
- Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

yes **n/a** **no**

If “no” select from below and explain:

- Consistent with predominant pattern on street
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design (Existing Landscaping to Remain)

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design and surrounding site
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located
- Stormwater runoff minimized

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The additions are appropriately integrated into the design of the existing house and will not significantly change the site planning.
- The 263 square-foot addition at the front façade maintains street front setback requirement and is in keeping with the style of the existing residence.
- The 553 square-foot addition at the rear of the house will not alter the existing home’s appearance as viewed from the street.
Landscaping and trees along the front and sides of the property will be retained.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate proportions and transitions
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If “no” select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If “no” select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Provide proposed roof plan for Planning review.

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions, and architectural concept of the project are consistent with and appropriate to the existing residence and the neighborhood.
- The roof features pitched gables at the front and sides with varying slopes.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If “no” select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If “no” select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Provide cut sheet and dimension of front door for Planning review.

Windows

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Revise Window Schedule to replace any visible slider windows with hung or fixed operations.

Privacy

yes **n/a** **no**

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors appropriate to hillside area

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Existing driveway includes brick to match brick cladding on the house. If this is to be replaced to match proposed Stone siding, please provide details on the plans for Planning review.

Lighting, Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

yes **n/a** **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall design, detailing and architectural concept of the addition will be consistent with the character of the existing Ranch style house.
- The finish materials are appropriate to the Ranch style including Hardie plank siding, stucco finish, and stone siding.
- The proposed windows are vinyl with a combination of single-hung and fixed operations, which will be compatible with the proposed design. A condition is included to revise the window schedule to replace any visible slider windows with hung or fixed operations.
- Charcoal gray shingle roof is proposed for the addition to match existing roof color and material, which is appropriate to the house and the neighborhood.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**. This determination is based on the implementation of the following recommended conditions:

Conditions

1. That a cut sheet of the proposed front door be provided for Planning Review
 2. That the Window Schedule be revised to replace sliders where visible from the street with hung or fixed operations.
 3. Provide details of proposed driveway if materials will be revised to match new design of the house.
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Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.

INTERIOR REMODEL, NEW ADDITION & NEW COVERED PATIO

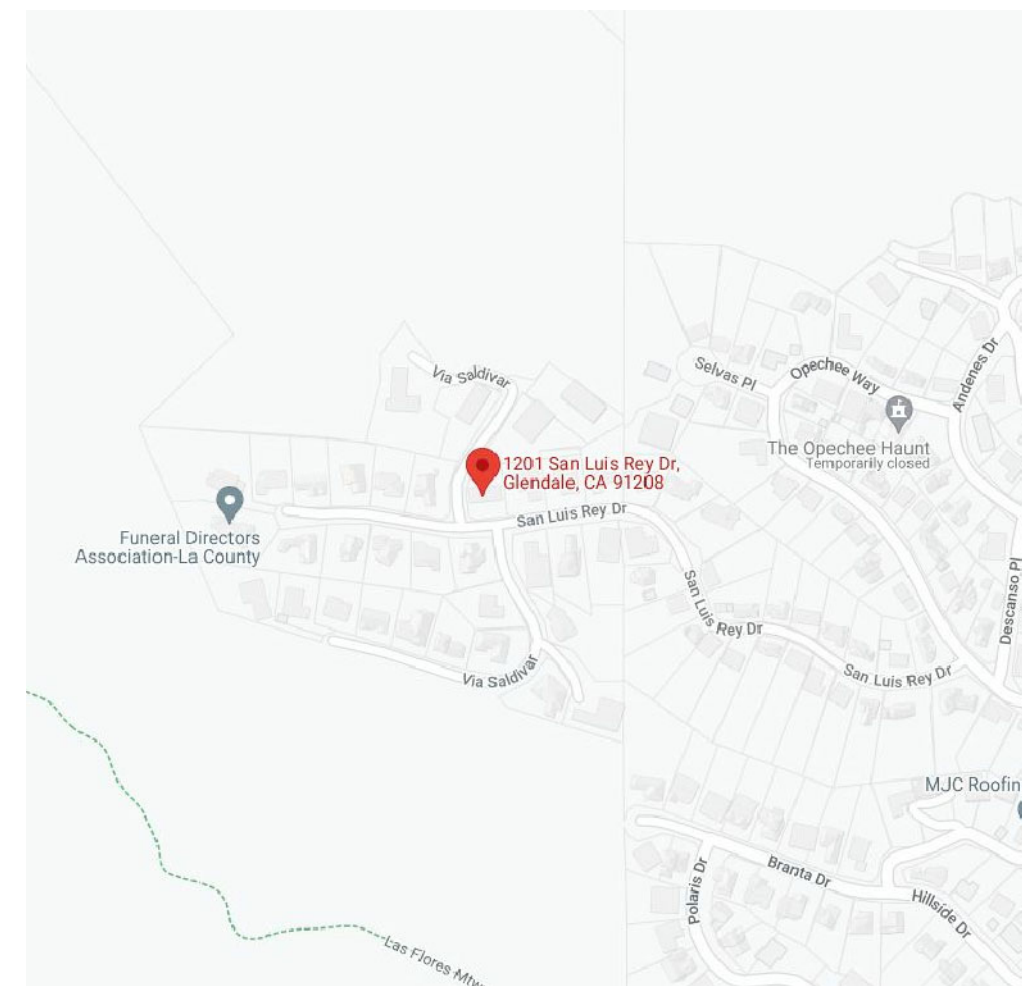
NAZARYAN RESIDENCE

1201 SAN LUIS REY DR., GLENDALE CA 91208

SCOPE OF WORK

- NEW ADDITION (816 SQ. FT.) TO REAR AND FRONT OF EXT'G SINGLE FAMILY RESIDENCE (1,918 SQ. FT.) AND
- NEW ATTACHED COVERED PATIO/BBQ AREA (332 SQ. FT.) AND
- INTERIOR REMODEL ADDING POWDER ROOM AND PANTRY
- ALL NEW WINDOWS
- NEW SMOOTH STUCCO, NEW SIDING AND NEW STONE FACADE TO REPLACE BRICK

SITE MAP



PROJECT INFORMATION

<p>PROJECT LOCATION 1201 SAN LUIS REY DR., GLENDALE, CA 91208</p> <p>PROJECT DESIGNER DESIGNNRK 213 N. ORANGE ST. UNIT: E GLENDALE, CA 91203 OFFICE : 818.823.7286 FAX : 888.424.8125 INFO@DESIGNNRK.COM</p>	<p>OWNER NAZARYAN 1201 SAN LUIS REY DR., GLENDALE, CA 91208</p> <p>ENGINEER VK ENGINEERING 1101 E. BROADWAY STE: 202 GLENDALE, CA 91205 818-500-0360</p>
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GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING STRUCTURES, AND FIELD CONDITIONS AT THE SITE, BEFORE COMMENCING WORK.
HE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/ OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, SPECIFICATIONS, EXISTING STRUCTURES, AND/ OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE WORK SO INVOLVED.

CONSTRUCTION WORK SHALL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO THE OTHER TENANTS.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF EGRESS.

SHEET INDEX

ARCHITECTURAL SHEETS:

- A0.1 COVER SHEET
- A0.2 SECURITY & GREEN SHEETS
- A1.1 SITE PLAN & ROOF PLAN
- A2.0 EXT'G FLOOR PLAN
- A2.1 PROPOSED FLOOR PLAN
DOOR & WINDOW SCHEDULE
- A3.1 PROPOSED ELEVATIONS
- A3.2 PROPOSED ELEVATIONS
- A4.1 PROPOSED SECTIONS & DETAIL

ENERGY CALCULATION SHEETS:

- T1 TITLE 24
- T2 TITLE 24

STRUCTURAL SHEETS :

- S-1 GENERAL NOTES
- S-2 FOUNDATION PLAN
- S-3 ROOF FRAMING PLAN
- S-4 DETAILS

NOTES

- A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLOWING :
1. RETAINING WALL OF BLOCK FENCE WALL
 2. GRADING WORK
 3. SWIMMING POOL
 4. A SEPARATE STRUCTURE
 5. SHORING
 6. DEMOLITION

CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY OR WITHIN 20 FEET OF THE PROPERTY"

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.

ROOFTOP EQUIPMENT IS PROHIBITED IN THIS ZONE.

FIRE DEPT. NOTES

1. ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
2. SMOKE DETECTORS: SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER SMOKE DETECTORS.
3. CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND /OR NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315
4. EGRESS: ALL REQUIRED EXITS ARE TO BE OPENABLE FROM THE INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.

PROJECT FLOOR PLAN AREA & DATA

LOT AREA	11,520 SQ. FT.
EXT'G SINGLE FAMILY RES	1,918 SQ. FT.
EXT'G 2-CAR GARAGE	395 SQ. FT.
NEW ADDITION	816 SQ. FT.
NEW ATTACHED COVERED PATIO/BBQ AREA	260 SQ. FT.
EXT'G POOL & SPA	681 SQ. FT.
EXT'G FRONT PORCH	22 SQ. FT.
TOTAL LIVING AREA	2,734 SQ. FT.

FLOOR AREA RATIO	NEW LIVING AREA (2,734 SQ. FT.)	24 %
MAX. 40% (OF 10,000) - 4,000 SQ. FT.	LOT AREA (11,520 SQ. FT.)	
MAX. 10% (OF 1,520) - 152 SQ. FT.		
TOTAL MAX.	4,152 SQ. FT.	

LOT COVERAGE RATIO	NEW LIVING AREA (2,734 SQ. FT.)	30 %
MAX. 40% - 4,608 SQ. FT.	EXT'G 2-CAR GARAGE (395 SQ. FT.) NEW ATTACHED PATIO/BBQ (260 SQ. FT.) EXT'G FRONT PORCH (22 SQ. FT.) TOTAL LOT COVERAGE (3,411 SQ.FT.)	
	LOT AREA (11,520 SQ. FT.)	

LANDSCAPE RATIO	LANDSCAPED AREA (5,035 SQ. FT.)	44 %
MIN. 40% - 4,608 SQ. FT.	LOT AREA (11,520 SQ. FT.)	

LEGAL DESCRIPTION	TRACT # 21494 LOT 14
YEAR BUILT	1957
ZONING	R1R-II
APN	5614-028-032
OCCUPANCY	RESIDENCE - R3 GARAGE - U
CONSTRUCTION TYPE	V-B
FIRE SPRINKLERS	NO
NUMBER OF STORIES	1
FIRE ZONE	YES
CA CLIMATE ZONE	9

APPLICABLE CODES

PROJECT SHALL COMPLY W/ THE 2019 CBC, CMC, CEC, CPC, GFD, CFC & CALIFORNIA ENERGY CODE AS WELL AS THE 2020 GLENDALE BUILDING & SAFETY CODE, CBC SECTION 106.1.1

REVISIONS:

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designNRK

residential +
commercial
design

COVER SHEET

NAZARYAN RESIDENCE

1201 SAN LUIS REY DR., GLENDALE, CA 91208

DATE:	08/2022
DRAWN BY:	NRK
JOB NO.	22071

SHEET NO.

A0.1

GREEN NOTES :

Community Development Department Building and Safety Division 2022 CALGreen Code FORM GRN 44

Community Development Department Building and Safety Division 2022 CALGreen Code FORM GRN 44

Community Development Department Building and Safety Division 2022 CALGreen Code FORM GRN 44

Community Development Department Building and Safety Division 2022 CALGreen Code FORM GRN 44

City of GLENDALE BUILDING AND SAFETY DIVISION VOC CONTENT VERIFICATION CHECKLIST WORKSHEET WS-3

Residential Mandatory Checklist Updated: 02/01/2023 Page 2 of 8

Residential Mandatory Checklist Updated: 02/01/2023 Page 3 of 8

Residential Mandatory Checklist Updated: 02/01/2023 Page 4 of 8

CALGreen Residential Tables Updated: 01/01/2023 Page 3 of 4

City of GLENDALE BUILDING AND SAFETY DIVISION VOC CONTENT VERIFICATION CHECKLIST WORKSHEET WS-4

Community Development Department Building and Safety Division 2022 CALGreen Code FORM GRN 44

Community Development Department Building and Safety Division 2022 CALGreen Code FORM GRN 44

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Community Development Department Building and Safety Division 2022 CALGreen Code FORM GRN 44

City of GLENDALE BUILDING AND SAFETY DIVISION FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST WORKSHEET WS-4

Residential Mandatory Checklist Updated: 02/01/2023 Page 3 of 8

Residential Mandatory Checklist Updated: 02/01/2023 Page 4 of 8

CALGreen Residential Tables Updated: 01/01/2023 Page 1 of 4

CALGreen Residential Tables Updated: 01/01/2023 Page 2 of 4

City of GLENDALE BUILDING AND SAFETY DIVISION FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST WORKSHEET WS-4

Community Development Department Building and Safety Division 2022 CALGreen Code FORM GRN 44

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City of GLENDALE BUILDING AND SAFETY DIVISION FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST WORKSHEET WS-4

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CALGreen Residential Tables Updated: 01/01/2023 Page 4 of 4

City of GLENDALE BUILDING AND SAFETY DIVISION FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST WORKSHEET WS-4

SECURITY NOTES :



CITY OF GLENDALE BUILDING AND SAFETY DIVISION 633 EAST BROADWAY ROOM 101 (818) 948-3200

SUPPLEMENTAL CORRECTION SHEET SECURITY STANDARDS - RESIDENTIAL

- 1. The following buildings shall comply with the Security Provisions:
a. New residential buildings of all types
b. Additions or alterations to residential buildings of all types
c. Single family dwelling units converted to privately owned family units (condominiums or cooperatives)
2. Identify all security openings clearly on the symbol " may be used, but any system which clearly defines security openings will be acceptable.
a. Security Openings are defined as:
b. All exterior doors of residential buildings
c. The door leading from garage into attached dwelling units
d. Entrance doors to individual apartments or condominiums from a public area
e. Any glazed opening within 40" of any door locking mechanism in the closed mechanism
f. Louvered windows within 12" vertically or 6" horizontally of an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure
g. Openings or windows into public parking areas
h. All openable windows. See Item 4 below.
3. Provide details and specifications for all swinging doors in security openings.
a. Security thickness, type, and materials as applicable for wood, metal, and glass doors
b. Specify deadbolts with hardened inserts, deadlocking latch, key-operated locks on exterior; locks operable without key, special knowledge or special effort on interior; and type, throw, and embedment of deadbolts for single swing doors, active leaf of dual door
c. Show means of securing inactive leaf of double door and upper leaf of dual door
4. Architect shall specify sliding glass doors and operable security windows on plans by trade name. Architect shall provide plan checker with a copy of performance test report prepared by manufacturer or ICC number, indicating compliance with tests as required in most recent edition of the California Building Code.
5. Show the method of securing metal or wood overhead or sliding doors.
6. For multiple family dwellings, show illuminated diagram on plans as specified in General Notes, Item 12.2.

- 7. Openings or windows referred to in Item 2g above, shall be fully tempered glass or approved burglarly resistant material, or shall be protected by metal bars, screens, or grilles. The protective bars or grilles shall not interfere with the operation of opening windows if such windows are required to be operable by the Code.
8. In addition to the details and specifications required by items 1 through 7 above, provide appropriate general notes and specifications to comply with Volume VII, Ordinance No. 5882. The following example notes may be used in part or in total as appropriate.
GENERAL NOTES:
All openings marked " are security openings and the following notes shall apply:
1. Each unit at a residential development shall be keyed differently than any other units under the same general plan. A certificate from the lock supplier declaring that all locks supplied to the project are keyed separately shall be acceptable as complying with the above requirements.
2. Door jamba shall have a solid backing with no voids exist between the strike side of the jamba and the frame opening for a vertical distance of six (6) inches (153mm) each side of the strike.
3. In wood framing, horizontal blocking shall be placed between studs at door lock height for three (3) feet and spaces each side of the door openings. Jamba shall have solid backing against sole plates.
4. Iron or steel screens shall be 1/8" thick with 2" mesh security fastening.
5. Iron bars shall be 1/2" diameter with 1" x 1/4" flat steel spaced at 5", max. security fastened.
6. Cylinder guards shall be attached with 1/2" connecting screws, and shall be installed whenever the cylinder projects beyond the face of the door, or is otherwise accessible to prying tools.
7. Door doors for swinging doors shall be integrated (rabbeted) with the jamba. Jamba for all doors shall be constructed or protected so as to prevent violation of the strike.
8. The strike plate for deadbolts on all wood frame doors shall be constructed of at least sixteen (16) U.S. gauge steel, bronze, or brass and secured to the jamba by a minimum of two screws.
9. Hinges for out-swinging doors shall be equipped with non-removable hinge pins or a mechanical hinge pin device that is difficult to remove from the door from the exterior by removing the hinge pins.
10. Louvered windows shall not be used when any portion of the window is less than 12 feet (3658mm) vertically or 6 feet (1829mm) horizontally from an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.
11. Garage Door Types: Rolling overhead, solid overhead, swinging or sliding access garage-type doors shall conform to the following standards:
11.1. Wood doors shall have panels a minimum of five-eighths (5/8) inch (8mm) in thickness with the locking hardware being attached to the support framing.
11.2. Aluminum doors shall be a minimum thickness of 0215 inches (.548mm) and riveted together a minimum of eighteen (18) inches (457mm) on center along the outside seams.

- There shall be a full width horizontal beam attached to the main door structure which shall meet the pilot, or pedestal access, door framing within three (3) inches (76mm) of the strike area of the pilot or pedestal access door.
11.3. Fiberglass doors shall have panels a minimum density of six (6) ounces per square foot (1531 grams/m²) from the bottom of the door to a height of seven (7) feet (2134mm). Panels above seven (7) feet (2134mm) and panels in residential structures shall have a density not less than five (5) ounces per square foot (1531 grams/m²).
11.4. Doors utilizing a cylinder lock shall have not less than a five (5) pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of one (1) inch (25.4mm).
11.5. Doors exceeding sixteen (16) feet (4877mm) in width shall have two lock receiving points on, if the door does not exceed nineteen (19) feet (5791mm), a single bolt may be used if placed in the center of the door with the locking point located either at the floor or door frame header, or bottom corner counter balance type hardware may be used.
11.6. Doors with side bolt assemblies shall have frames a minimum of 120 inches (30mm) in thickness, with a minimum bolt diameter of one-half (1/2) inch (12mm) and protrude at least one and one-half (1 1/2) inches (38mm) into the receiving guide. A bolt diameter of three-eighths (3/8) inch (9.5mm) may be used in a residential building. The side bolt shall be attached to the door with non-removable bolts from the outside. Rivets shall not be used to attach side bolt assemblies.
12. Swinging Exterior Doors: All exterior swinging doors of any residential building and attached garages (except for vehicular access doors), including doors to the rear of the garage area shall be constructed or protected so as to prevent violation of the strike.
12.1. All wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1 3/4) inches (40mm), and with panels not less than nine-sixteenths (9/16) inch (15mm) thick.
12.2. A single or double door shall be equipped with a single cylinder deadbolt lock with a minimum projection of one (1) inch (25.4mm) and be constructed so as to meet cutting tool attack. The deadbolt shall have an embedment of at least three-fourths (3/4) inch (19mm) in the strike receive the protected bolt. The cylinder shall have a cylinder guard a minimum of five pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of 1/4" inch (6.35mm) diameter. All installation shall be done so that the performance of the locking device will meet the intended anti-burglary requirements. A dual locking mechanism constructed so that both deadbolt and latch can be released by a single action of the inside door knob, or lever, may be substituted provided it meets all other specifications for locking devices.
12.3. The inactive leaf of double doors shall be equipped with metal flush bolts having a minimum embedment of five-eighths (5/8) inch (16mm) into the head and threshold of the door frame.
12.4. Glazing: Glazing in exterior doors or within forty (40) inches (1016mm) of any locking mechanism shall be of fully tempered glass or rated burglarly resistant glazing.
12.5. Wide Angle View: Except where clear vision panes are installed, all front exterior doors shall be equipped with a wide angle (150°) door viewer.

- 12.8. Hollow steel doors shall be a minimum sixteen (16) gauge thick with extra reinforcing around the lock to prevent collapsing.
12.7. Aluminum doors shall be constructed per Vol. VII, Section 15.3 of Security Ordinance No. 5581, and shall be equipped with a double cylinder deadbolt with a 1" pin bolt projection or hook-shaped or expanding dog bolt to prevent spreading. The deadbolt lock shall have a minimum of five (5) pin tumblers and a cylinder guard.
13. Address Number and Identifying Data: Address numbers and other identifying data shall be displayed as follows:
13.1. All residential dwellings shall display an address number in a prominent location on the street side of the residence in such a position that the number is easily visible to approaching emergency vehicles. The numerals shall be no less than four (4) inches (102mm) in height and shall be of a contrasting color to the background to which they are attached. In addition, any residence with non-vehicular access through any driveway, alleyway or parking lot shall also display the same numerals on the rear of the building.
13.2. Multiple Family Dwelling: Illuminated Diagrams and Identification Numbers: There shall be positioned at each entrance of a multiple family dwelling complex an illuminated diagrammatic representation of the complex which shows the location of:
13.2.1. The viewer;
13.2.2. The unit designations within the complex;
13.2.3. Each unit that is a "smoking unit" and a "non-smoking" unit (as governed by Chapter 8.32 of the Glendale Municipal Code, 1995, or any successor legislation);
13.2.4. A smoking permitted area authorized under Section 8.52.130 of the G.M.C.; and
13.2.5. The complex's exits, stairs, elevators, fire alarm annunciator panels, and standpipes.
In addition, each individual unit within the complex shall display a prominent identification number, not less than four (4) inches (102mm) in height, which is easily visible to approaching vehicular and/or pedestrian traffic. In addition, any multiple family dwelling with non-vehicular access shall also display the same numbers on the rear of the building.
14. Lighting: Multiple Family Dwelling: Lighting in multiple family dwellings shall be as follows:
14.1. Aisles, Passageways and Recesses: Aisles, passageways and recesses related to and within the building complex shall be illuminated with an intensity of at least twenty-five hundredths (.25) of a footcandle (3 lux) at the ground level during the hours of darkness. Lighting devices shall be protected by weather and vandalism resistant covers.
14.2. Parking Structures, Parking Lots and Carports: Parking structures, parking lots and carports shall be provided with a minimum of two (2) footcandles (21.3 lux) of light on the parking surface during the hours of darkness. Lighting devices shall be protected by weather and vandalism resistant covers.
15. Note: These notes are intended as a guide only. Contractor and supplier shall refer to the Glendale Building & Safety Code, Volume VII for more complete and specific details.

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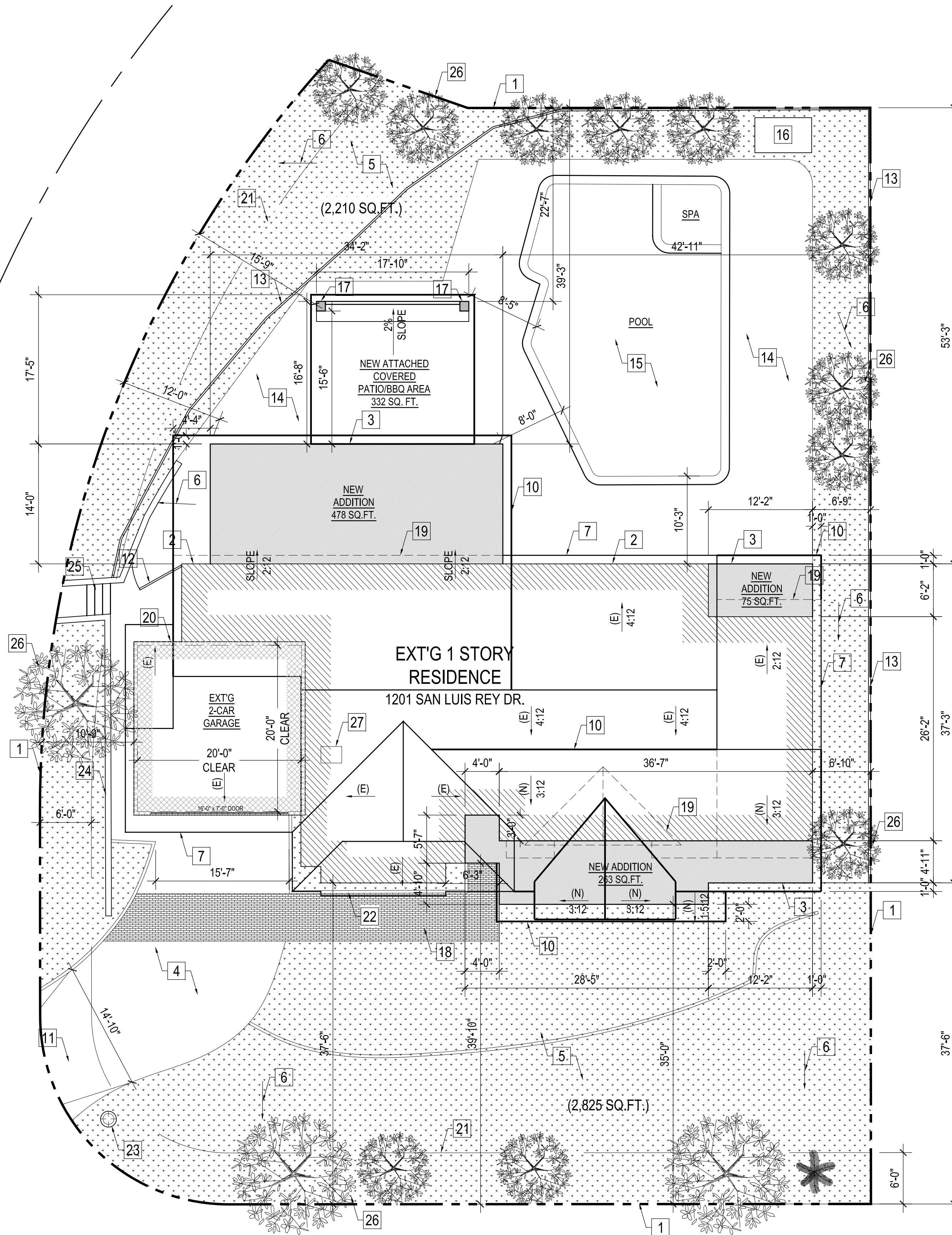
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GREEN NOTES & SECURITY NOTES NAZARYAN RESIDENCE 1201 SAN LUIS REY DR., GLENDALE, CA 91208

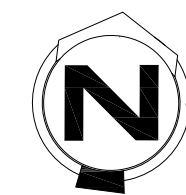
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VIA SALDIVAR



SAN LUIS REY DR.



SITE PLAN & ROOF PLAN

SCALE : 3/32" = 1'-0"

SITE PLAN KEYED NOTES

1. PROPERTY LINE
2. EXT'G RESIDENCE WALL LINE
3. NEW ADDITION WALL LINE
4. EXT'G CONCRETE DRIVEWAY TO REMAIN
5. EXT'G LANDSCAPING TO REMAIN
6. DIRECTION OF SHEET FLOW MIN 2%
7. EXT'G CLASS 'A' ROOF LINE
8. NEW CONCRETE LANDING
9. EXT'G 6'-0" WIDE PUBLIC UTILITY EASEMENT
10. NEW ADDITION CLASS 'A' ROOF LINE
11. EXT'G APRON
12. EXT'G GATE
13. EXT'G WOOD FENCE TO REMAIN
14. EXT'G CONC. HARDSCAPE
15. EXT'G POOL & SPA
16. EXT'G POOL EQUIPMENT LOCATION
17. NEW 12" X 12" POSTS
18. EXT'G BRICK WALKWAY
19. DEMO ROOF LINE
20. EXT'G ELECTRICAL METER LOCATION
21. EXT'G 6'-0" WIDE PUBLIC UTILITY EASEMENT
22. EXT'G PLANTER
23. EXT'G PILASTER & LIGHT FIXTURE
24. EXT'G BLOCK WALL
25. EXT'G BRICK STAIRS
26. EXT'G TREE(S) TO REMAIN
27. EXT'G FIREPLACE TO REMAIN

- EXT'G RESIDENCE
- EXT'G 2-CAR GARAGE
- NEW ADDITION
- EXT'G LANDSCAPING

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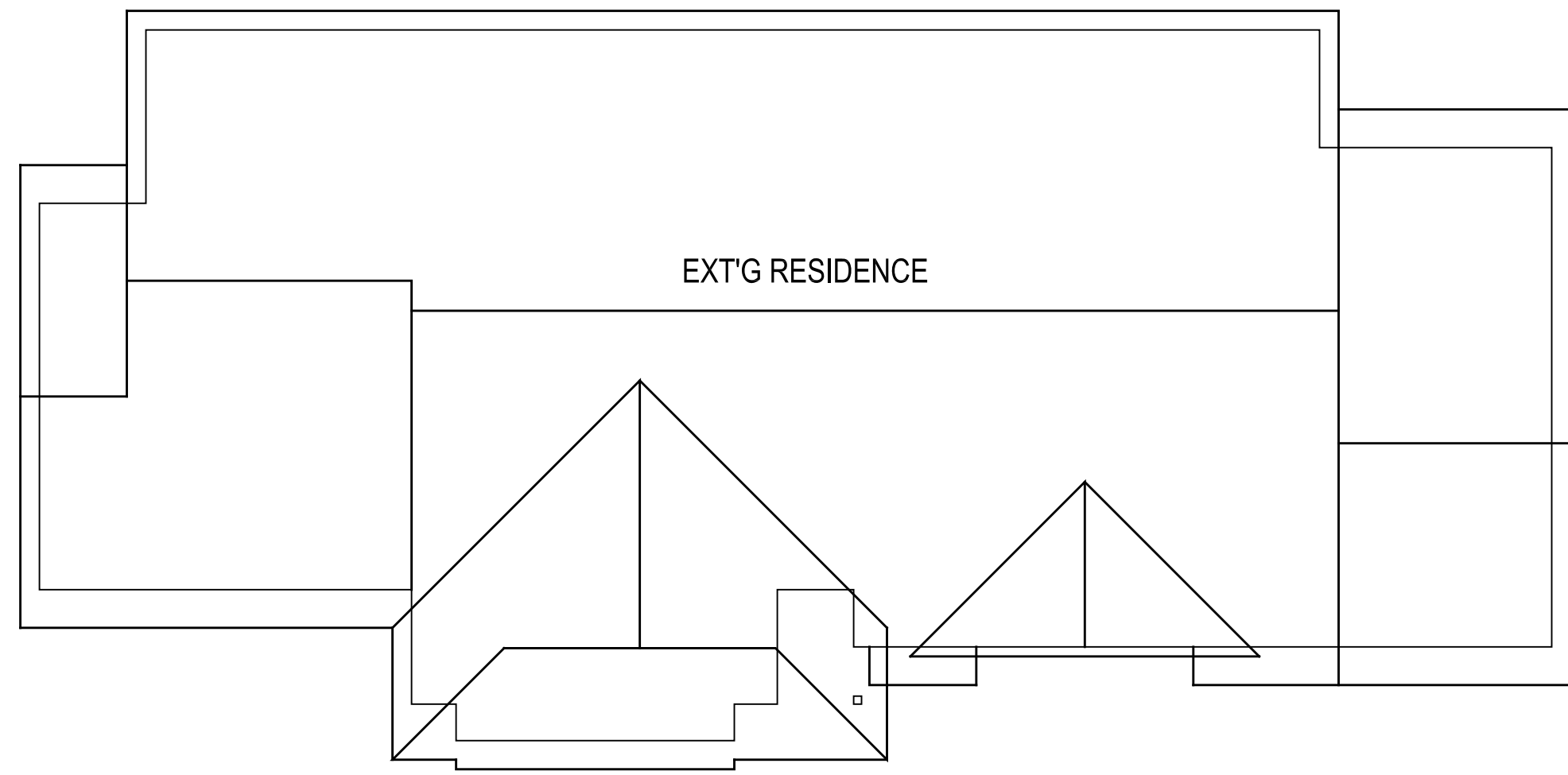
SITE PLAN & ROOF PLAN

NAZARYAN RESIDENCE
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DATE: 08/2022
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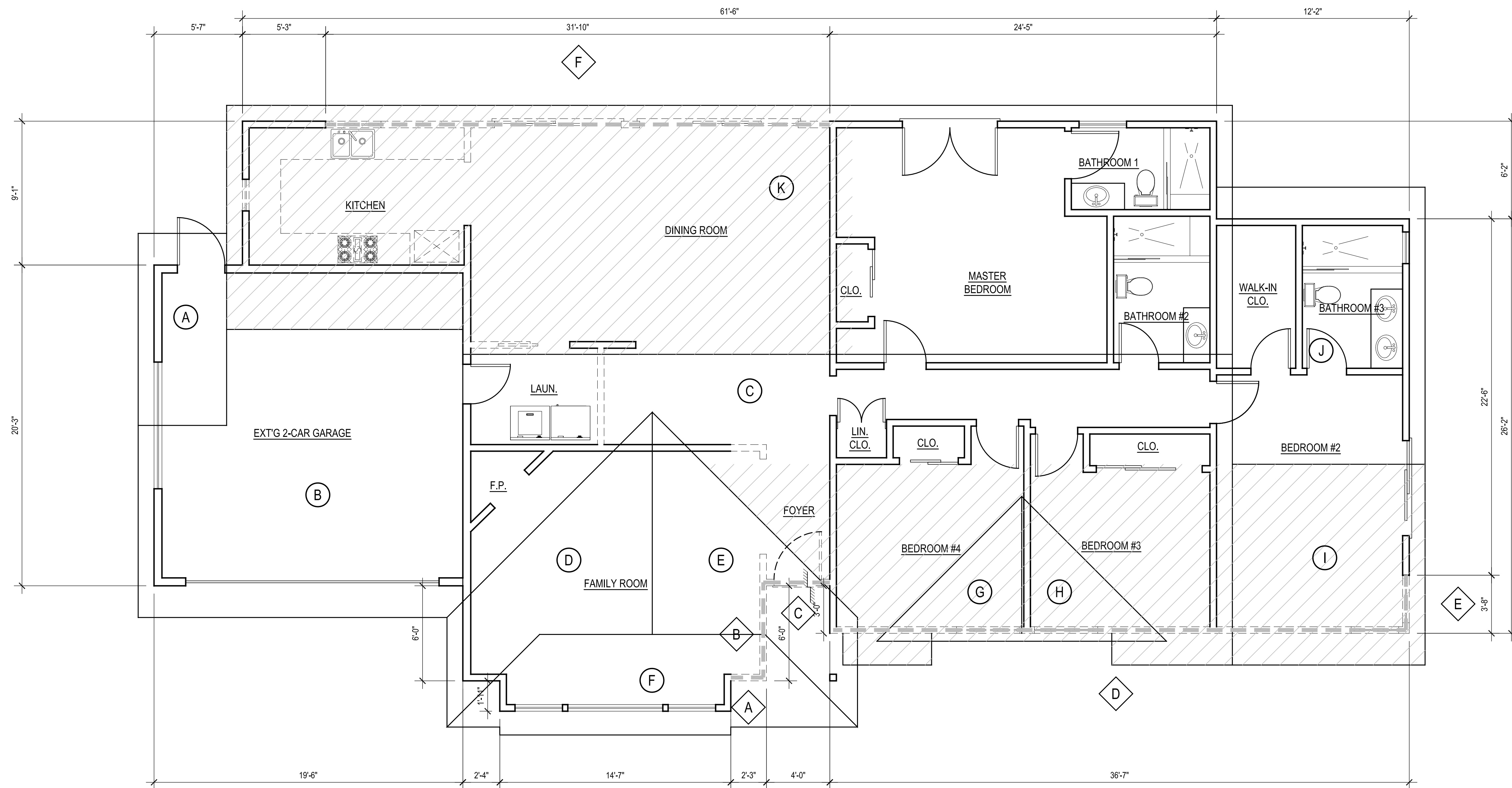
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EXT'G ROOF PLAN

SCALE : 1/8" = 1'-0"



DEMOLITION FLOOR & EXT'G ROOF PLAN

SCALE : 1/4" = 1'-0"

DEMOLITION PLAN LEGEND

- WALLS TO REMAIN
- EXT'G WALL TO BE REMOVED
- EXT'G EXTERIOR FULL HEIGHT WALLS TO BE REMOVED
- PART OF ROOF TO BE ALTERED CONSIDERED AS PART TO BE DEMOLISHED

DEMOLITION AREA CALCULATIONS :

EXT'G ROOF AREA:	PROPOSED ROOF DEMOLITION:
(A) 68 SQ. FT.	(A) 0 SQ. FT.
(B) 338 SQ. FT.	(B) 0 SQ. FT.
(C) 617 SQ. FT.	(C) 252 SQ. FT.
(D) 115 SQ. FT.	(D) 0 SQ. FT.
(E) 115 SQ. FT.	(E) 0 SQ. FT.
(F) 125 SQ. FT.	(F) 0 SQ. FT.
(G) 42 SQ. FT.	(G) 42 SQ. FT.
(H) 42 SQ. FT.	(H) 42 SQ. FT.
(I) 154 SQ. FT.	(I) 154 SQ. FT.
(J) 213 SQ. FT.	(J) 0 SQ. FT.
(K) 975 SQ. FT.	(K) 597 SQ. FT.
2,804 SQ.FT.	1,087 SQ.FT.

EXT'G EXTERIOR FULL HEIGHT WALL AREA:

- 61'-6" x 8'-0" = 492 SQ. FT.
- 6'-2" x 8'-0" = 49 SQ. FT.
- 12'-2" x 8'-0" = 97 SQ. FT.
- 26'-2" x 8'-0" = 209 SQ. FT.
- 36'-7" x 8'-0" = 293 SQ. FT.
- 3'-0" x 8'-0" = 24 SQ. FT.
- 4'-0" x 8'-0" = 32 SQ. FT.
- 6'-0" x 8'-0" = 48 SQ. FT.
- 2'-3" x 8'-0" = 18 SQ. FT.
- 1'-11" x 8'-0" = 15 SQ. FT.
- 14'-7" x 8'-0" = 117 SQ. FT.
- 1'-11" x 8'-0" = 15 SQ. FT.
- 2'-4" x 8'-0" = 19 SQ. FT.
- 6'-0" x 8'-0" = 48 SQ. FT.
- 19'-6" x 8'-0" = 156 SQ. FT.
- 20'-3" x 8'-0" = 162 SQ. FT.
- 5'-7" x 8'-0" = 45 SQ. FT.
- 9'-1" x 8'-0" = 73 SQ. FT.

1,912 SQ.FT.

EXT'G ROOF AREA:	2,804 SQ. FT.
EXT'G EXTERIOR FULL HEIGHT WALL AREA:	1,912 SQ. FT.
	4,716 SQ. FT.

EXT'G ROOF TO BE DEMO:	1,087 SQ. FT.
EXT'G EXTERIOR WALL TO BE DEMO:	675 SQ. FT.
	1,762 SQ. FT.

THEREFORE: 1,762 SQ. FT. / 4,716 SQ. FT. = 37.4% < 50% MAX. ALLOWED

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DEMOLITION FLOOR & EXT'G ROOF PLAN

NAZARYAN RESIDENCE
1201 SAN LUIS REY DR., GLENDALE, CA 91208

DATE:	08/2022
DRAWN BY:	NRK
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MARK	NO. OF UNIT	EXT'G SIZE		PROPOSED SIZE		EXT'G MATERIAL	NEW MATERIAL	EXT'G OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	EXTERNAL GRID (SD) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXT'G EDGE DETAIL Y/N	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW WIN 18" OF FLOOR OR 40" OF DOOR Y/N	U-FACTOR	SHGC FACTOR	NOTE
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP													
		—	—	—	—						—	—													
A	1	—	—	5'-0"	4'-0"	—	VINYL	—	SLIDER	BLOCKED	•	•	NO	BLACK	NO	NO	—	YES	—	WOOD	YES	NO	0.29	0.23	ALL WINDOWS TO BE BLOCK-FRAME RECESSED
B	3	—	—	3'-0"	5'-0"	—	VINYL	—	SINGLE HUNG	BLOCKED	•	•	YES/NO	BLACK	NO	NO	—	YES	—	WOOD	YES	NO	0.29	0.23	
C	1	3'-0"	2'-0"	3'-0"	2'-0"	—	VINYL	FIXED	FIXED	BLOCKED	•	•	NO	BLACK	NO	NO	YES	NO	—	WOOD	YES	NO	0.29	0.23	
D	1	2'-0"	2'-0"	2'-0"	2'-0"	—	VINYL	SINGLE HUNG	SINGLE HUNG	BLOCKED	•	•	NO	BLACK	NO	NO	YES	NO	—	WOOD	YES	NO	0.29	0.23	
E	1	—	—	2'-0"	2'-0"	—	VINYL	—	SINGLE HUNG	BLOCKED	•	•	NO	BLACK	NO	NO	—	YES	—	WOOD	YES	NO	0.29	0.23	
F	2	—	—	3'-0"	5'-0"	—	VINYL	—	SINGLE HUNG	BLOCKED	•	•	YES	BLACK	YES	NO	YES	NO	—	WOOD	YES	NO	0.29	0.23	
G	2	3'-0"	6'-0"	3'-0"	6'-0"	—	VINYL	SINGLE HUNG	SINGLE HUNG	BLOCKED	•	•	NO	BLACK	YES	NO	YES	NO	—	WOOD	YES	YES	0.29	0.23	
H	1	6'-0"	6'-0"	6'-0"	6'-0"	—	VINYL	FIXED	FIXED	BLOCKED	•	•	NO	BLACK	YES	NO	YES	NO	—	WOOD	YES	YES	0.29	0.23	
I	1	8'-0"	3'-0"	5'-0"	3'-0"	—	VINYL	SLIDER	SLIDER	BLOCKED	•	•	NO	BLACK	YES	NO	YES	NO	—	WOOD	YES	NO	0.29	0.23	

MARK	NO. OF UNIT	DOOR				FINISH	NOTES
		SIZE		GLAZE			
		WD	HGT	THK	DUAL		
(1)	1	3'-0"	6'-8"	1 3/4"	•	PAINTED	ENTRY DOOR
(2)	1	14'-0"	6'-8"	1 3/8"	•	PAINTED	SLIDING GLASS DOOR
(3)	1	6'-0"	8'-0"	1 3/8"	•	PAINTED	FRENCH DOOR
(4)	1	2'-8"	6'-8"	1 3/8"	•	PAINTED	EXTERIOR DOOR
(5)	1	5'-0"	6'-8"	1 3/4"	•	PAINTED	STORAGE DOOR
(6)	1	6'-0"	6'-8"	1 3/4"	•	PAINTED	SLIDING GLASS DOOR
(7)	7	2'-8"	6'-8"	1 3/4"	•	PAINTED	INTERIOR DOORS
(8)	1	2'-8"	6'-8"	1 3/4"	•	PAINTED	1-HR FIRE RATED DOOR
(9)	2	3'-0"	6'-8"	1 3/4"	•	PAINTED	CLOSET DOORS
(10)	1	6'-9"	6'-8"	1 3/4"	•	PAINTED	SLIDING CLOSET DOORS

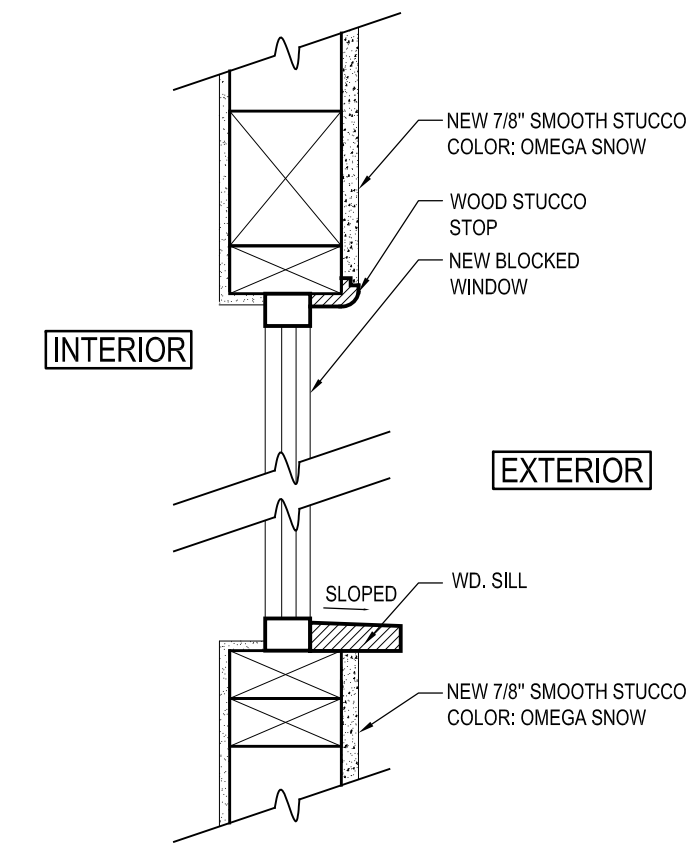
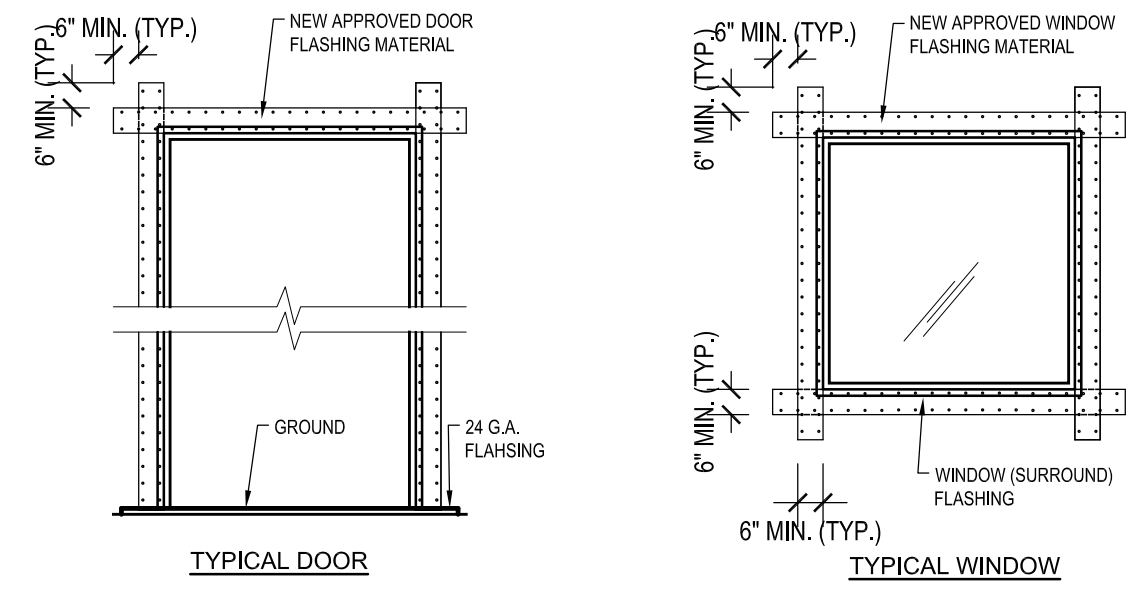
WINDOW NOTE:
 EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN. RATED PER. TITLE-24 CALCULATIONS - ALL GLAZING TO HAVE NON-METAL FRAMES.
 PER. TITLE-24 - ALL GLAZING WILL HAVE EXTERIOR SHADING DEVICES, VIA BUG SCREENS PER. SHGC IN THE CALCULATIONS.

BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 s.f., A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAXIMUM ABOVE THE FINISH FLOOR.

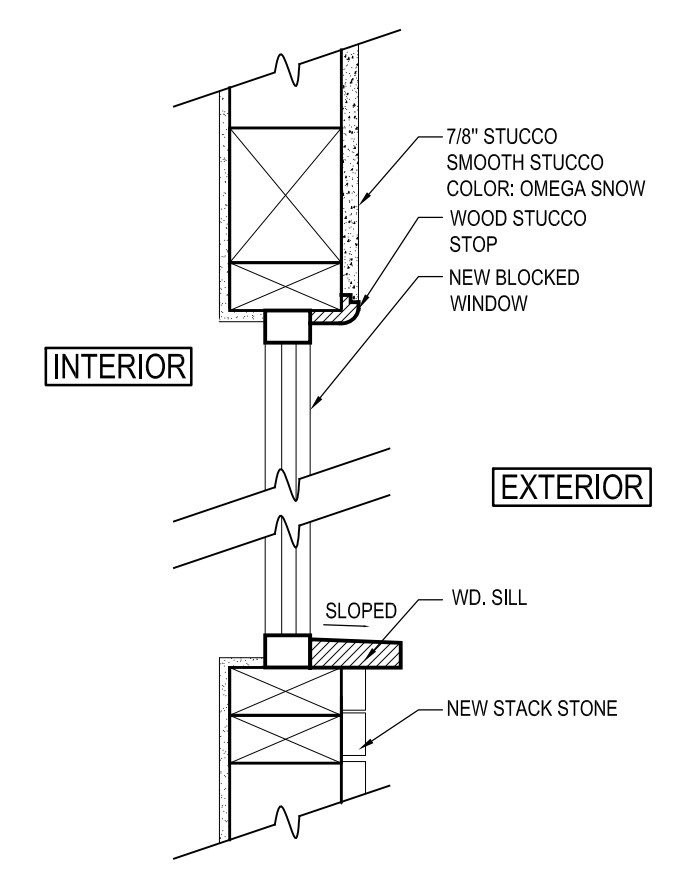
PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1)

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED

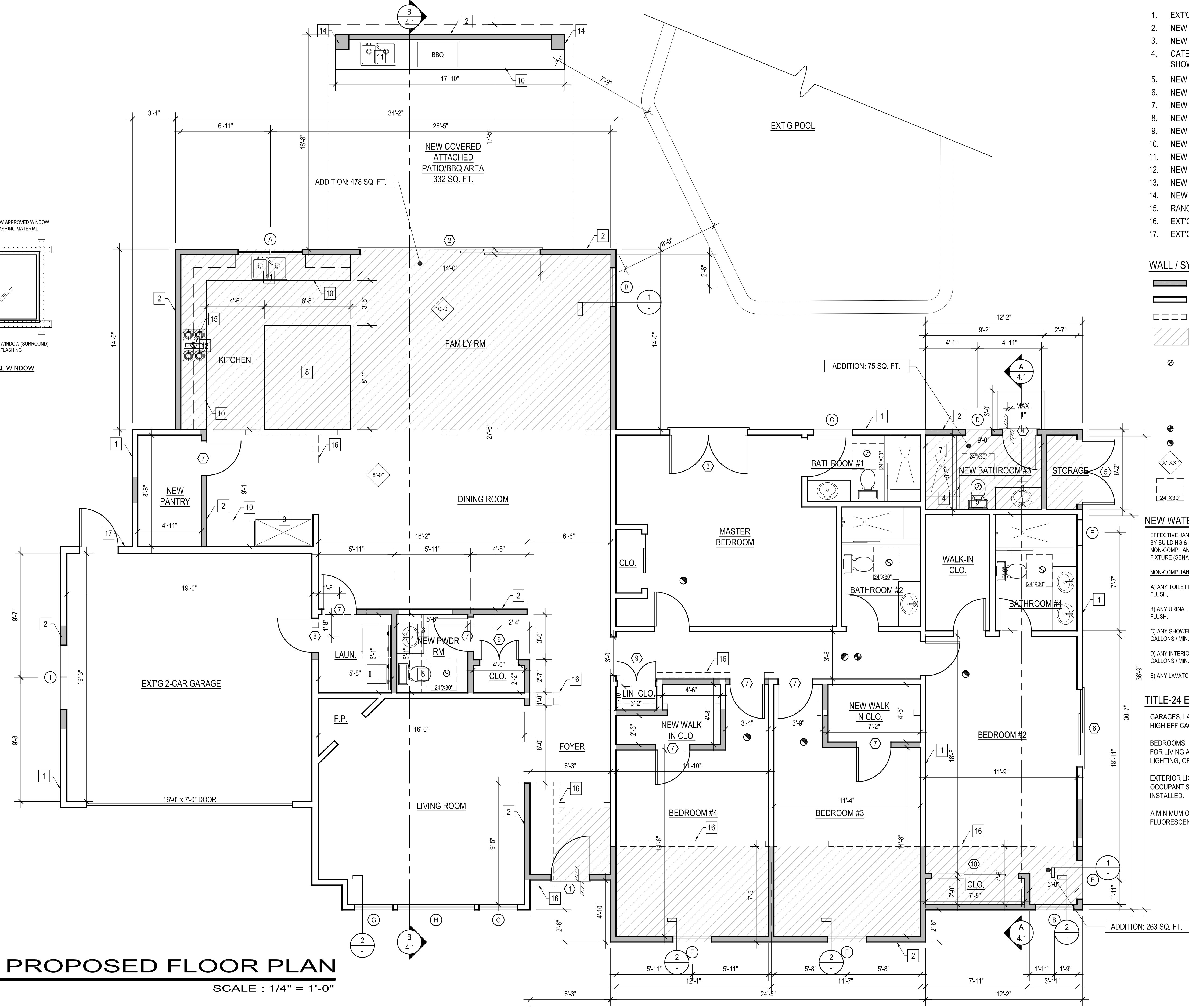
NEW WINDOW & DOOR FLASHING



WINDOW DETAIL - 1
SCALE : NTS



WINDOW DETAIL - 2
SCALE : NTS



PROPOSED FLOOR PLAN
SCALE : 1/4" = 1'-0"

FLOOR PLAN KEYED NOTES :
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

- EXT'G WALLS TO REMAIN
- NEW WALLS
- NEW CONCRETE LANDING
- CATEGORY II (TEMPERED GLASS) FRAMELESS SHOWER DOOR & ENCLOSURE
- NEW TOILET (S.B.O.)
- NEW SINK (S.B.O.)
- NEW TUB OR SHOWER (TILE TO CEILING)
- NEW ISLAND
- NEW REFRIGERATOR (S.B.O.)
- NEW BASE AND UPPER CABINETS
- NEW DOUBLE SINK
- NEW RANGE (S.B.O.)
- NEW ISLAND
- NEW 12"x12" POST - PAINTED WD, PANEL COVERED
- RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
- EXT'G WALLS TO BE DEMO
- EXT'G ELECTRIC METER LOCATION

WALL / SYMBOL LEGEND

- NEW WALLS
- WALLS TO REMAIN
- EXT'G WALL TO BE REMOVED
- ADDITION
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR 50 CFM TO OUTSIDE
 - ENERGY STAR COMPLIANT
 - DUCTED TO THE OUTSIDE
 - HUMIDISTAT CONTROLLED
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- CEILING HEIGHTS
- WATER CLOSET CLEARANCE

NEW WATER FIXTURE NOTES

- EFFECTIVE JANUARY 1, 2014, AS A CONDITION OF FINAL PERMIT APPROVAL BY BUILDING & SAFETY THE PERMIT APPLICANT SHALL REPLACE ALL NON-COMPLIANT PLUMBING FIXTURES W/ WATER CONSERVING PLUMBING FIXTURE (SENATE BILL 407)
- NON-COMPLIANT PLUMBING FIXTURES ARE DEFINED AS :
- A) ANY TOILET MANUFACTURED TO USE MORE THAN 1.28 GALLONS PER FLUSH.
 - B) ANY URINAL MANUFACTURED TO USE MORE THAN 1.0 GALLONS PER FLUSH.
 - C) ANY SHOWER HEAD MANUFACTURED TO FLOW MORE THAN 2.0 GALLONS / MIN.
 - D) ANY INTERIOR FAUCET MANUFACTURED TO FLOW MORE THAN 1.8 GALLONS / MIN.
 - E) ANY LAVATORY FAUCETS ARE TO FLOW MORE THAN 1.5 GALLONS / MIN.

TITLE-24 ENERGY REQUIREMENTS

GARAGES, LAUNDRY OR UTILITY ROOMS MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, AND CONTROLLED BY AN OCCUPANT SENSOR.

BEDROOMS, LIVING ROOMS, FAMILY ROOMS, AND OTHER ROOMS USED FOR LIVING AND SLEEPING MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, OR AN OCCUPANT SENSOR, OR DIMMERS MAY BE INSTALLED.

EXTERIOR LIGHTING MUST BE FLUORESCENT OR HIGH EFFICACY, OR AN OCCUPANT SENSOR WITH AN INTEGRAL PHOTO CONTROL MAY BE INSTALLED.

A MINIMUM OF 50% OF THE LUMINARIES IN A KITCHEN MUST BE FLUORESCENT OR HIGH EFFICACY.

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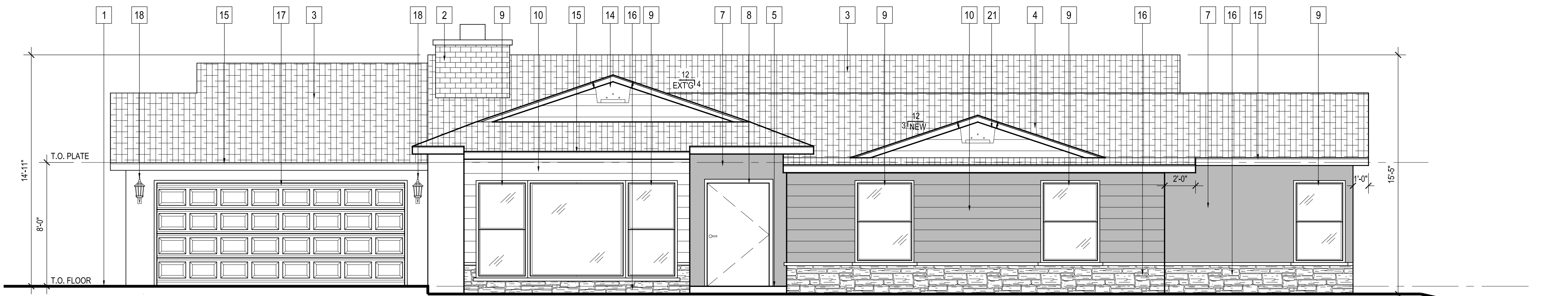
PROPOSED FLOOR PLAN / DOOR & WINDOW SCHEDULE

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DATE: 08/2022
 DRAWN BY: NRK
 JOB NO. 22071

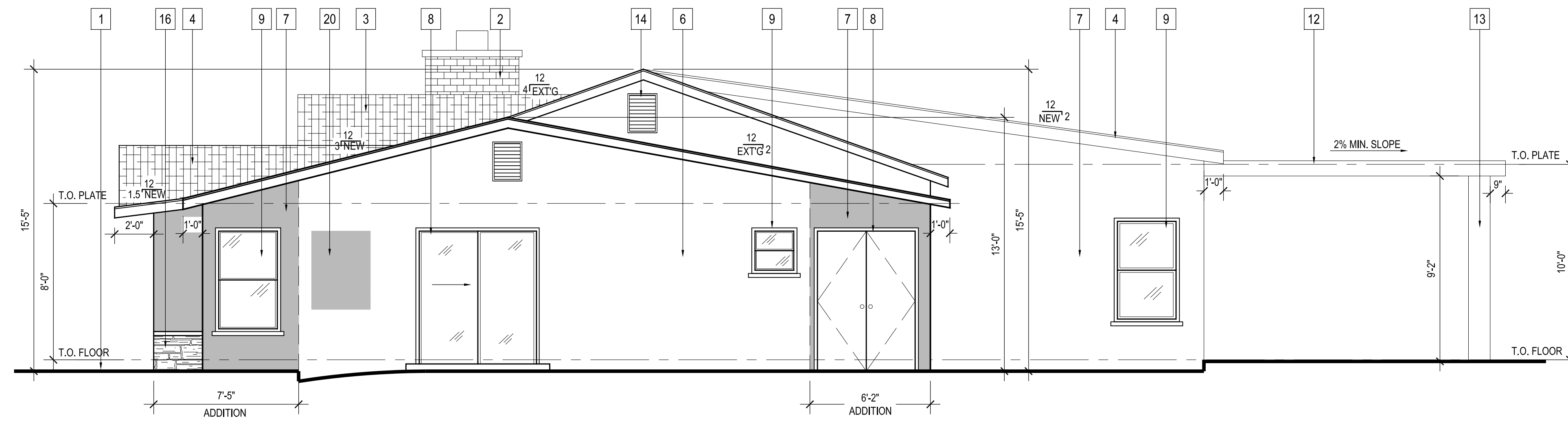
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SOUTH ELEVATION

SCALE : 1/4" = 1'-0"



EAST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

1. EXT'G GRADE
2. EXT'G CHIMNEY TO REMAIN
3. EXT'G CLASS 'A' ROOF TO REMAIN
4. NEW CLASS 'A' ROOF TO MATCH EXT'G GAF COMP SHINGLES (ESR-1475)
5. EXT'G LANDING TO REMAIN
6. EXT'G STUCCO TO REMAIN
7. NEW 7/8" SMOOTH STUCCO
8. NEW DOOR (SEE SCHEDULE)
9. NEW WINDOW (SEE SCHEDULE)
10. NEW WOOD SIDING
11. NEW CONC. LANDING
12. NEW TORCH DOWN ROOF
13. NEW 12" X 12" POST - PAINTED WOOD PANEL COVERED
14. EXT'G VENT TO REMAIN
15. NEW STUCCO FASCIA BOARD
16. NEW STONE FACADE
17. EXT'G GARAGE DOOR TO REMAIN
18. EXT'G OUTDOOR LIGHT
19. EXT'G DOOR TO REMAIN
20. EXT'G WINDOW OPENING TO BE CLOSED - NEW STUCCO
21. NEW ATTIC VENT TO MATCH EXT'G

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PROPOSED ELEVATIONS

NAZARYAN RESIDENCE

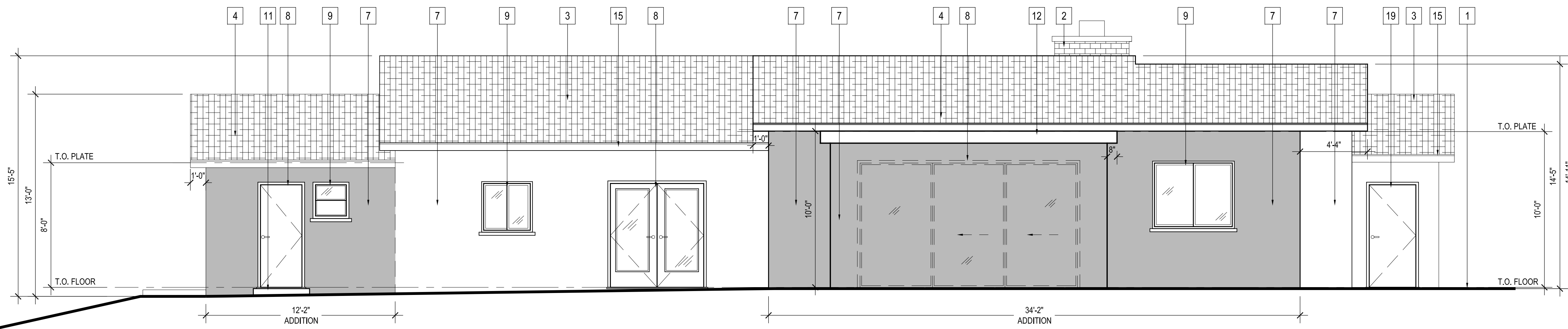
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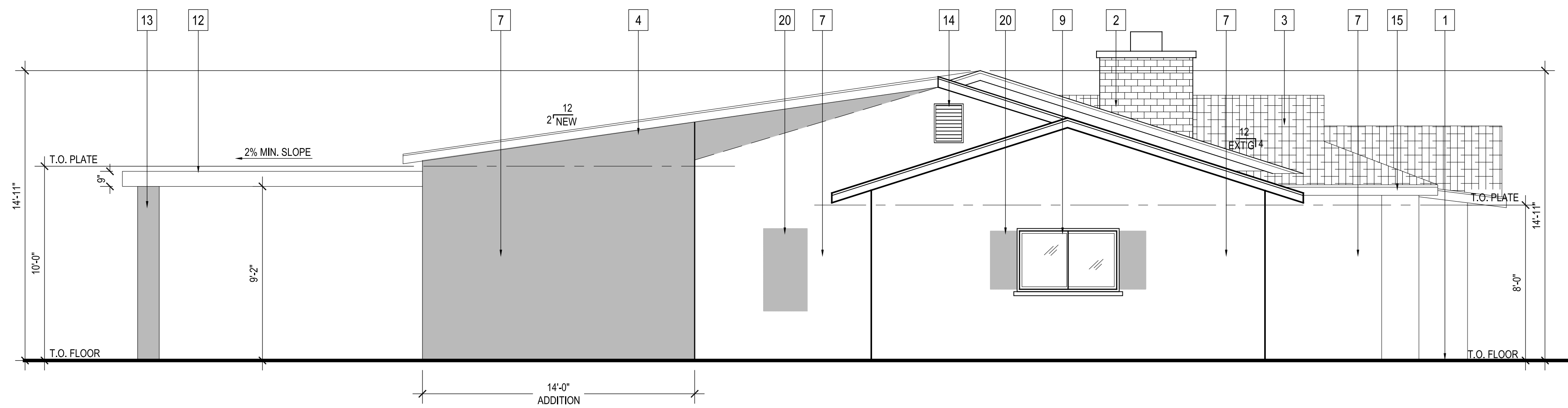
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NORTH ELEVATION

SCALE : 1/4" = 1'-0"



WEST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

1. EXT'G GRADE
2. EXT'G CHIMNEY TO REMAIN
3. EXT'G CLASS 'A' ROOF TO REMAIN
4. NEW CLASS 'A' ROOF TO MATCH EXT'G GAF COMP SHINGLES (ESR-1475)
5. EXT'G CONC. LANDING TO REMAIN
6. OMIT
7. NEW 7/8" SMOOTH STUCCO - COLOR: OMEGA SMOOTH STUCCO SNOW
8. NEW WINDOW (SEE SCHEDULE)
9. NEW DOOR (SEE SCHEDULE)
10. NEW JAMES HARDIE WOOD SIDING COLOR: WHITE
11. NEW CONC. LANDING
12. NEW TORCH DOWN ROOF
13. NEW 12" X 12" POST - COVERED IN SMOOTH STUCCO - COLOR: OMEGA SNOW
14. EXT'G VENT TO REMAIN
15. NEW STUCCO FASCIA BOARD
16. NEW STONE FACADE - COLOR: ODYSSEE GREY
17. EXT'G GARAGE DOOR TO REMAIN
18. EXT'G OUTDOOR LIGHT
19. EXT'G DOOR TO REMAIN
20. EXT'G WINDOW OPENING TO BE CLOSED - NEW STUCCO

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PROPOSED ELEVATIONS

NAZARYAN RESIDENCE

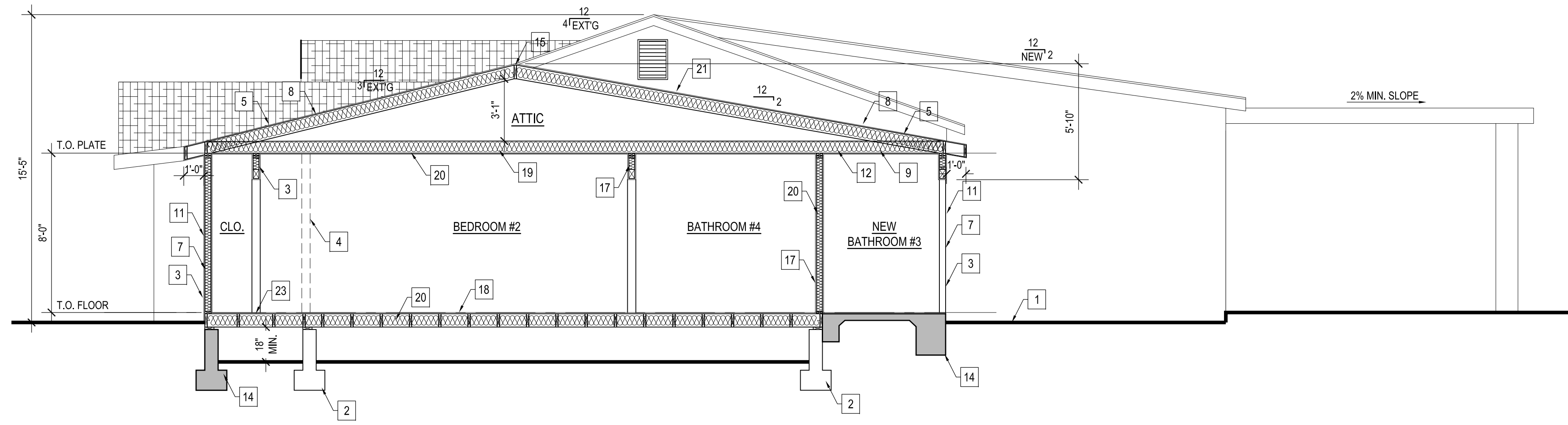
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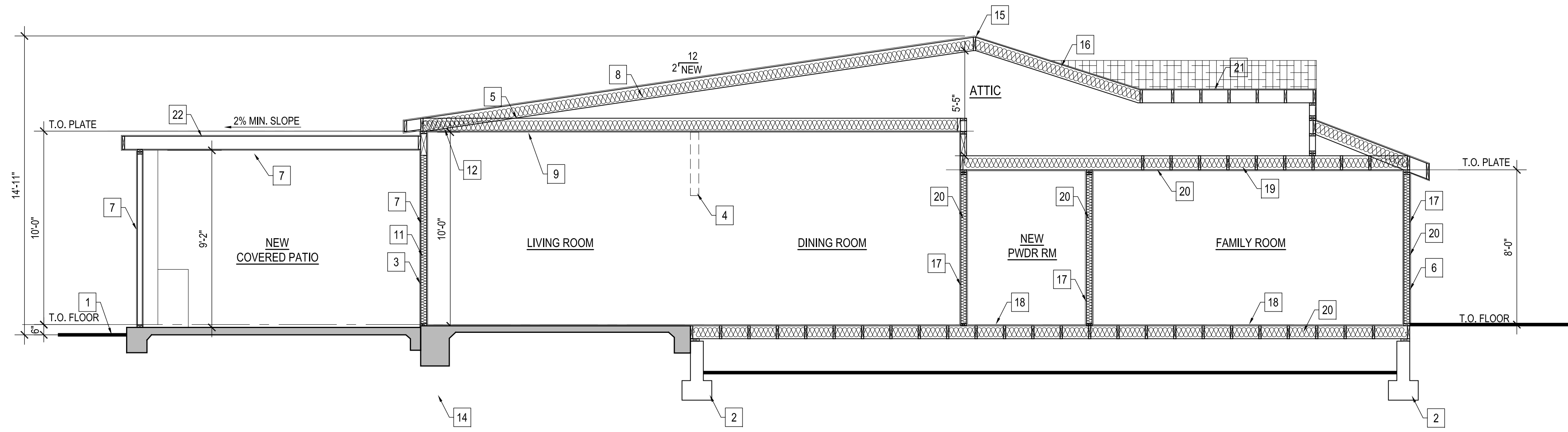
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SECTION A-A

SCALE : 1/4" = 1'-0"



SECTION B-B

SCALE : 1/4" = 1'-0"

CROSS SECTION KEY NOTES

1. EXT'G GRADE
2. EXT'G CONC. FOUNDATION
3. NEW 2" x 4" STUD WALL
4. EXT'G WALL TO BE REMOVED
5. NEW 2" x ROOF RAFTER
6. EXT'G 7/8" STUCCO TO REMAIN
7. NEW 7/8" SMOOTH STUCCO TO MATCH EXT'G TO MATCH EXT'G
8. NEW CLASS 'A' ROOF COMP SHINGLE TO MATCH EXT'G
9. NEW R -- INSULATION
10. NEW R -- INSULATION
11. NEW R -- INSULATION
12. NEW 2" x CEILING JOISTS
13. NEW 2" FLOOR JOIST
14. NEW CONC. FOOTING PER PLAN
15. EXT'G RIDGE BOARD
16. EXT'G ROOF RAFTERS
17. EXT'G WALL TO REMAIN
18. EXT'G FLOOR JOISTS TO REMAIN
19. EXT'G CEILING JOISTS TO REMAIN
20. EXT'G INSULATION TO REMAIN
21. EXT'G CLASS 'A' ROOF TO REMAIN
22. NEW CLASS 'A' TORCH DOWN ROOF

NOTE:
SEE TITLE 24 FOR INSULATION

REVISIONS:

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commercial
design

PROPOSED SECTIONS & DETAIL

NAZARYAN RESIDENCE

1201 SAN LUIS REY DR., GLENDALE, CA 91208

DATE: 08/2022
DRAWN BY: NRK
JOB NO. 22071

SHEET NO.

A4.1

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: Nazaryan Residence
Calculation Description: Title 24 Analysis
Calculation Date/Time: 2023-08-09T03:08:02-07:00
Input File Name: 1201 San Luis Rey Dr.rdbd22
CF1R-PRF-01E
(Page 1 of 12)

GENERAL INFORMATION table with columns: Item, Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, Addition Cond. Floor Area, Existing Cond. Floor Area, Total Cond. Floor Area, ADU Bedroom Count.

COMPLIANCE RESULTS table with columns: Item, Description.

Registration Number: 423-P010142357A-000-000-0000000-0000
Registration Date/Time: 08/09/2023 03:10
HERS Provider: CHEERS
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CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2023-08-09 03:08:33

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ZONE INFORMATION table with columns: Zone, Zone Name, Zone Type, HVAC System Name, Zone Floor Area, Avg. Ceiling Height, Water Heating System, Status.

OPAQUE SURFACES table with columns: Name, Zone, Construction, Azimuth, Orientation, Gross Area, Window and Door Area, Tilt, Wall Exceptions, Status, Verified Existing Condition.

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CF1R-PRF-01E
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OPAQUE DOORS table with columns: Name, Side of Building, Area, U-factor, Status, Verified Existing Condition.

SLAB FLOORS table with columns: Name, Zone, Area, Perimeter, Edge Insul. R-value and Depth, Carpeted Fraction, Heated, Status, Verified Existing Condition.

OPAQUE SURFACE CONSTRUCTIONS table with columns: Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers.

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ENERGY USE SUMMARY table with columns: Energy Use, Standard Design Source Energy, Standard Design TDV Energy, Proposed Design Source Energy, Proposed Design TDV Energy, Compliance Margin, Compliance Margin (EDR2).

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(Page 5 of 12)

OPaque SURFACES table with columns: Name, Zone, Construction, Azimuth, Orientation, Gross Area, Window and Door Area, Tilt, Wall Exceptions, Status, Verified Existing Condition.

ATTIC table with columns: Name, Construction, Type, Roof Rise, Roof Reflectance, Roof Emittance, Radiant Barrier, Cool Roof, Status, Verified Existing Condition.

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CF1R-PRF-01E
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OPAQUE SURFACE CONSTRUCTIONS table with columns: Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers.

BUILDING ENVELOPE - HERS VERIFICATION table with columns: Quality Insulation Installation, High R-value Spray Foam Insulation, Building Envelope Air Leakage, CFM50, CFM50.

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ENERGY USE INTENSITY table with columns: Standard Design, Proposed Design, Compliance Margin, Margin Percentage.

REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
* NO SPECIAL FEATURES REQUIRED

HERS FEATURE SUMMARY table with columns: Kitchen range hood, Minimum Airflow, Verified EER/SEER2, Verified SEER/SEER2, Verified Refrigerant Charge, Fan Efficiency Watts/CFM, Verified HSPF2, Verified heat pump rated heating capacity, Duct leakage testing.

BUILDING - FEATURES INFORMATION table with columns: Project Name, Conditioned Floor Area, Number of Dwelling Units, Number of Bedrooms, Number of Zones, Number of Ventilation Cooling Systems, Number of Water Heating Systems.

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CF1R-PRF-01E
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FENESTRATION / GLAZING table with columns: Name, Type, Surface, Orientation, Azimuth, Width, Height, Mult., Area, U-factor, U-factor Source, SHGC, SHGC Source, Exterior Shading, Status, Verified Existing Condition.

OPAQUE DOORS table with columns: Name, Side of Building, Area, U-factor, Status, Verified Existing Condition.

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CF1R-PRF-01E
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WATER HEATING SYSTEMS table with columns: Name, System Type, Distribution Type, Water Heater Name, Number of Units, Solar Heating System, Compact Distribution, HERS Verification, Water Heater Name (#), Status, Verified Existing Condition, Existing Water Heating System.

WATER HEATERS table with columns: Name, Heating Element Type, Tank Type, # of Units, Tank Vol. (gal), Heating Efficiency Type, Efficiency, Rated Input Type, Input Rating or Pilot, Tank Insulation R-value (Int/Ext), Standby Loss or Recovery Eff, 1st Hr. Rating or Flow Rate, Tank Location, Status, Verified Existing Condition.

WATER HEATING - HERS VERIFICATION table with columns: Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Type, Recirculation Control, Shower Drain Water Heat Recovery.

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TITLE 24
NAZARYAN RESIDENCE
1201 SAN LUIS REY DR., GLENDALE, CA 91208

DATE: 08/2022
DRAWN BY: NRK
JOB NO. 22071
SHEET NO. T1

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Nazaryan Residence Calculation Date/Time: 2023-08-09T03:08:02-07:00 CF1R-PRF-01E (Page 10 of 12)

Table with 12 columns: O1-O12. Headers: Name, System Type, Heating Unit Name, Heating Equipment Count, Cooling Unit Name, Cooling Equipment Count, Fan Name, Distribution Name, Required Thermostat Type, Status, Verified Existing Condition, Existing HVAC System.

Table with 13 columns: O1-O13. Headers: Name, System Type, Number of Units, Efficiency Type, HSPF/HPSP2/COP, Cap 47, Cap 17, Efficiency Type, SEER/SEER2, EER/EER2/CEER, Zonally Controlled, Compressor Type, HERS Verification.

Table with 9 columns: O1-O9. Headers: Name, Verified Airflow, Airflow Target, Verified EER/EER2, Verified SEER/SEER2, Verified Refrigerant Charge, Verified HSPF/HPSP2, Verified Heating Cap 47, Verified Heating Cap 17.

Table with 9 columns: O1-O9. Headers: Name, Verified Airflow, Airflow Target, Verified EER/EER2, Verified SEER/SEER2, Verified Refrigerant Charge, Verified HSPF/HPSP2, Verified Heating Cap 47, Verified Heating Cap 17.

Registration Number: 423-PO10142357A-000-000-000000-0000 Registration Date/Time: 08/09/2023 03:10 HERS Provider: CHEERS... CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Nazaryan Residence Calculation Date/Time: 2023-08-09T03:08:02-07:00 CF1R-PRF-01E (Page 11 of 12)

Table with 16 columns: O1-O16. Headers: Name, Type, Design Type, Duct Ins. R-value, Duct Location, Surface Area, Bypass Duct, Duct Leakage, HERS Verification, Status, Verified Existing Condition, Existing Distribution system, New Ducts 25 ft.

Table with 9 columns: O1-O9. Headers: Name, Duct Leakage Verification, Duct Leakage Target (%), Verified Duct Location, Verified Duct Design, Buried Ducts, Deeply Buried Ducts, Low-leakage Air Handler, Low Leakage Ducts Entirely in Conditioned Space.

Table with 4 columns: O1-O4. Headers: Name, Type, Fan Power (Watts/CFM), Name.

Table with 3 columns: O1-O3. Headers: Name, Verified Fan Watt Draw, Required Fan Efficacy (Watts/CFM).

Registration Number: 423-PO10142357A-000-000-000000-0000 Registration Date/Time: 08/09/2023 03:10 HERS Provider: CHEERS... CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Nazaryan Residence Calculation Date/Time: 2023-08-09T03:08:02-07:00 CF1R-PRF-01E (Page 12 of 12)

Documentation Author's Declaration Statement. I certify that this Certificate of Compliance documentation is accurate and complete. Documentation Author Name: Gilberto Carrillo.

Responsible Person's Declaration Statement. I certify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.

Responsible Designer Name: Georgy Nazaryan. Date Signed: 08/09/2023. License: 14604 Cohasset Street, Van Nuys, CA 91405.

Registration Number: 423-PO10142357A-000-000-000000-0000 Registration Date/Time: 08/09/2023 03:10 HERS Provider: CHEERS... CA Building Energy Efficiency Standards - 2022 Residential Compliance

2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

- Building Envelope: 110.6(a)1: Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 1011.5 Z/A440-2011. 110.6(a)5: Labeling. Fenestration products and exterior doors must have a label meeting the requirements of 10-111(a).

2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

- 150.0(m)13: Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. 150.0(o)1: Ventilation and Indoor Air Quality. Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2.

2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

- 150.0(k)1G: Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. 150.0(k)1H: Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.

Fireplaces, Decorative Gas Appliances, and Gas Logs

- 110.5(e): Pilot Lights. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces. 150.0(a)1: Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least 1/4 square inches in area and is equipped with a readily accessible, operable, and light-tight damper or combustion-air control device.

Pool and Spa Systems and Equipment

- 110.4(a): Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating. 150.0(i)1: Lighting. Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of 110.9.

Solar Readiness

- 110.10(a)1: Single-Family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of 110.10(a)1e. 110.10(a)2: Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in 110.9, 130.1, 130.1.1, 130.4, 140.6, and 141.0.

2022 Single-Family Residential Mandatory Requirements Summary

Electric and Energy Storage Ready: 150.0(s): Energy Storage System (ESS) Ready. All single-family residences must meet all of the following. Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, or a dedicated raceway from the main service to a subpanel that supplies the branch circuits in 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 725 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source.

- 150.0(t): Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready"; and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V Use." 150.0(u): Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready"; and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V Use."

2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

- 110.5: Pilot Lights. Continuously burning pilot lights are prohibited for natural gas, fan-type central furnaces, household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour), and pool and spa heaters. 150.0(h)1: Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in 150.0(h)2. 150.0(h)3A: Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.

Ducts and Fans

- 110.8(d)3: Ducts. Insulation installed on an existing space-conditioning duct must comply with 604.0 of the California Mechanical Code (CMC), if a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement. CMC Compliance. All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSIS/SMACNA 208-2008 HVAC Duct Construction Standards - Metal and Flexible, 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to R-6.0 or higher; ducts located entirely in conditioned spaces as confirmed through field verification and diagnostic testing (RA3.1.4.3.8) do not require insulation. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable UL requirements, or aerosol sealant that meets UL 723. The combination of mastic and either mesh or tape must be used to seal openings greater than 1/4". If mastic or tape is used, Building cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to provide conditioned air. Building cavities and support platforms may contain ducts, ducts installed in these spaces must not be compressed. 150.0(m)2: Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.

REVISIONS:

Table with 2 columns: Revision number, Description.

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TITLE 24

NAZARYAN RESIDENCE 1201 SAN LUIS REY DR., GLENDALE, CA 91208

DATE: 08/2022 DRAWN BY: NRK JOB NO. 22071

SHEET NO. T2

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REPORT TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. *** NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITION OF BUILDING BEFORE ANY CONSTRUCTION WORK ***

GENERAL NOTES

GENERAL:

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF GLENDALE BUILDING CODE, 2022 EDITION (BASED ON 2022 CBC), AND ALL OTHER APPLICABLE REQUIREMENTS, ORDERS, ORDINANCES
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE.
- UNLESS SPECIFICALLY DETAILED ON THESE DRAWINGS, CONTRACTOR SHALL FURNISH ADEQUATE SHORING, BRACING ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK, AND SHALL AND SHALL BE FULLY RESPONSIBLE FOR SAME.
- ANY CONFLICT WITH BETWEEN STRUCTURAL DRAWINGS AND SITE CONDITIONS MUST BE VERIFIED WITH ENGINEER BEFORE CONSTRUCTION CAN PROCEED.

FOUNDATION:

- FOUNDATION DESIGN IS BASED ON AN ALLOWANCE SOIL BEARING PRESSURE OF 1,500 PSF
- FOOTING EXCAVATIONS SHALL BE CLEAN AND FREE OF ALL DEBRIS AND LOOSE SOIL BEFORE ANY REINFORCEMENT IS PLACED.

CONCRETE:

- ALL CONCRETE SHALL BE NORMAL WEIGHT, 150 LB/CU. FT. AND SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS, BASED ON AN APPROVED LABORATORY DESIGNED MIX, OF 2500 PSF.
- PORTLAND CEMENT SHALL CONFIRM TO ASTM C-150.
- LOCATION OF ALL CONSTRUCTION JOINTS MUST BE APPROVED BY THE STRUCTURAL ENGINEER IF NOT SHOWN ON THE DRAWINGS.
- NO PIPES OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED.
- CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED FOR ALL CONCRETE DESIGNED WITH f_c GREATER THAN 2500 PSI.

REINFORCING STEEL:

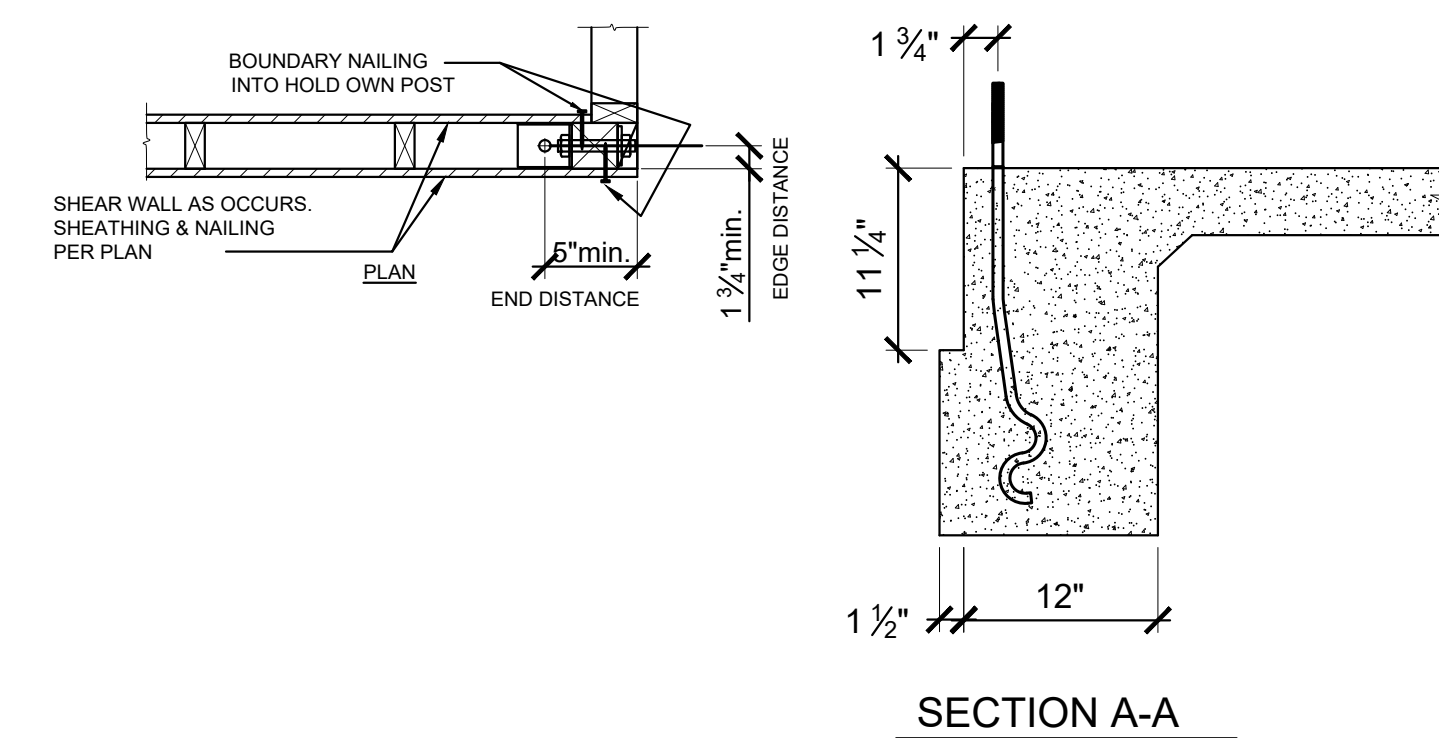
- ALL REINFORCING STEEL CONSIST OF DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60.
- REINFORCING BARS SHALL HAVE THE FOLLOWING MINIMUM CONCRETE COVER:
 - CONCRETE POURED AGAINST EARTH.....3"
 - CONCRETE POURED AGAINST EARTH BUT FORMED.....2"
- PROVIDE SPACER BARS, CHAIRS, SPREADERS, ETC. AS REQUIRED TO HOLD THE STEEL SECURELY IN PLACE.
- REINFORCING MARKED CONTINUOUS MAY BE SPLICED BY LAPPING 30 BAR DIAMETERS IN CONCRETE AND 40 BAR DIAMETERS IN MASONRY. UNLESS NOTED OTHERWISE.
- DOWELS SHALL MATCH WALL REINFORCING IN SIZE AND NUMBER REQUIRED UNLESS NOTED OTHERWISE.

WOOD:

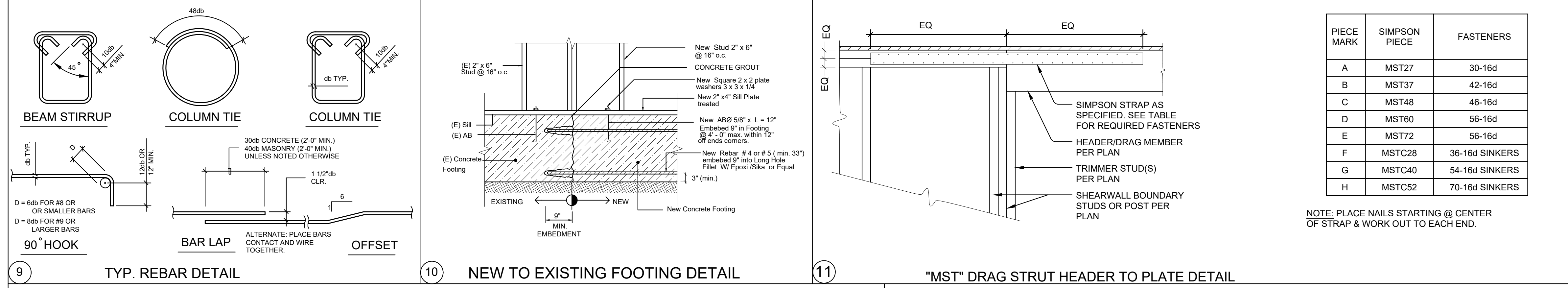
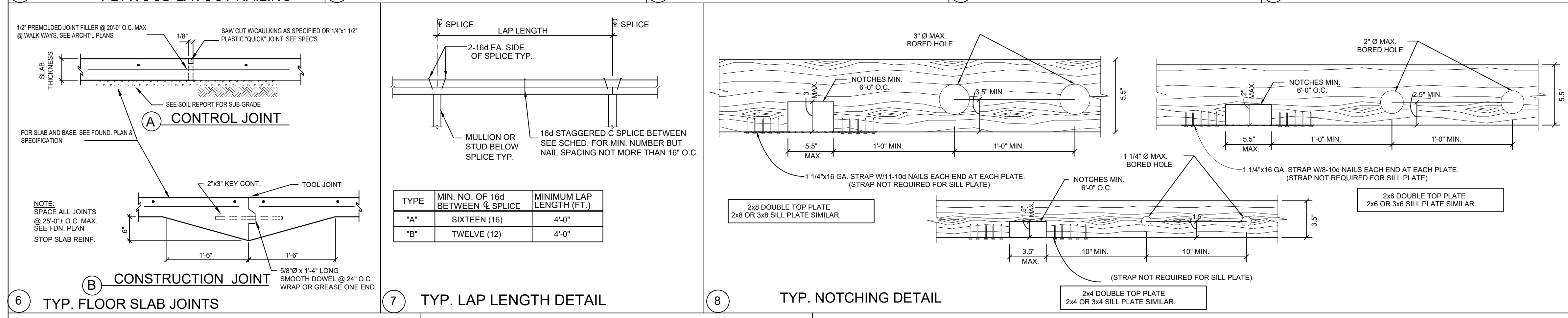
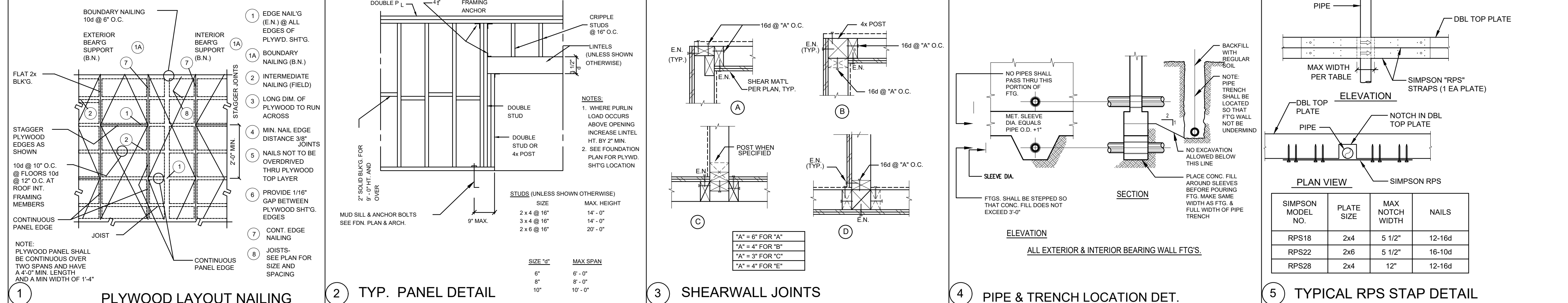
- ALL NEW LUMBER-DOUGLAS FIR.
- BEAM AND POST-#1 GRADE, EXCEPT AS NOTED.
- JOISTS AND RAFTERS, #2 GRADE, EXCEPT AS NOTED.
- STUDS-CONSTRUCTION GRADE.
- PLYWOOD-DOUGLAS FIR P.S 1-95.
- ALL PLYWOOD USED ON ROOF SHALL BE BONDED WITH EXTERIOR GLUE.
- SILL PLATES SHALL BE PRESSURE TREATED D.F. OR FOUNDATION GRADE REDWOOD.
- NEW SILLS BE ANCHORED WITH 5/8" DIA. x 10" BOLTS AT 4'-0" AND NOT OVER 9" FROM END OF EACH PIECE.
- HOLDS FOR BOLTS-SAME SIZE AS BOLTS OR 1/16" LARGER.
- BOLTS TO HAVE PLATE WASHERS.
- 2" CROSS BRIDGING AT 10'-0" SHALL BE PROVIDED FOR ROOF JOISTS. APPROVED METAL BRIDGING MAY BE USED IN LIEU OF WOOD BRIDGING.
- 2" SOLID BLOCK AT EACH SUPPORT.
- 2" SOLID FIRE BLOCKING IN STUD WALLS @8'-0" MAX.
- NAILING SHALL CONFORM TO TABLE 2304.9.1. OF THE CODE.
- ALL ROOF SHEATHING SHALL BE INSPECTED BEFORE APPLYING ROOFING TO INSURE SOUND BOARDS AND NAILING.

REQUIRED SPECIAL INSPECTIONS

SET-XP EPOXY GROUTED ANCHORS	YES
------------------------------	-----



12 HOLDOWN DETAIL



LARR #	SIMPSON HOLDOWN	REQUIRED EPOXY-TIE ADHESIVE FOR FULL "HD" CAPACITY	ANCHOR	MINIMUM EMBEDMENT	ALLOWABLE LOADS
LARR# 25667 ICC ESR #2330	HDU2	SET-XP LARR # 25744 ICRESR-2508	RFB #5x16	10"	2081 lbs 3007 lbs
	HDU4	SET-XP LARR # 25744 ICRESR-2508	RFB #5x16	10"	2707 lbs 3513 lbs
	HDU5	SET-XP LARR # 25744 ICRESR-2508	RFB #5x16	10"	2610 lbs 3937 lbs
	HDU11	SET-XP LARR # 25744 ICRESR-2508	7/8"Ø THRU-BOLT	15"	3828 lbs 5995 lbs
	HDU14	SET-XP LARR # 25744 ICRESR-2508	7/8"Ø THRU-BOLT	15"	7155 lbs 4395 lbs 5047 lbs

MODEL NO.	POST OR STUD SIZE	LARR# 25667 DIM FOR BOLT PLACEMENT 'CL'	HOLDOWN ANCHOR DIA	FASTENERS MONO POUR	FASTENERS DUAL POUR	SDS SCREWS QTY
HDU2	4x	1 7/16	5/8	SSTB16	SSTB20	6 SDS 0.25"x2.5"
HDU4	4x	2 3/16	5/8	SSTB20	SSTB24	10SDS 0.25"x2.5"
HDU5	4x	2 1/16	5/8	SSTB28	SSTB34	14SDS 0.25"x2.5"

PIECE MARK	SIMPSON PIECE	FASTENERS
A	MST27	30-16d
B	MST37	42-16d
C	MST48	46-16d
D	MST60	56-16d
E	MST72	56-16d
F	MSTC28	36-16d SINKERS
G	MSTC40	54-16d SINKERS
H	MSTC52	70-16d SINKERS

ITEM	LA CITY SUPPLEMENT
ST6236	ESR-2105
MST, CMST	ESR-2105
A35	ESR-3096
LTP4	ESR-3096
ECC, CC	ESR-2604
LUS Hanger	ESR-3096
HDU	ESR-2330
SSW	ESR-1679
EPOXY SET-XP	ESR-2508
ABU	ESR- 1622

VK ENGINEERS, INC.
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1101 E. Broadway, Suite 202
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e-mail: vickengr@gmail.com


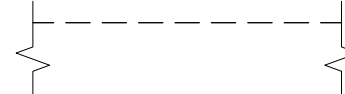

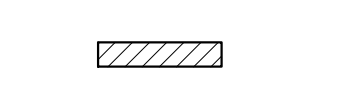
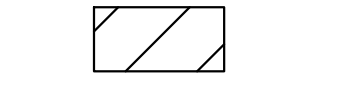
GENERAL NOTES
AND
STRUCTURAL DETAILS

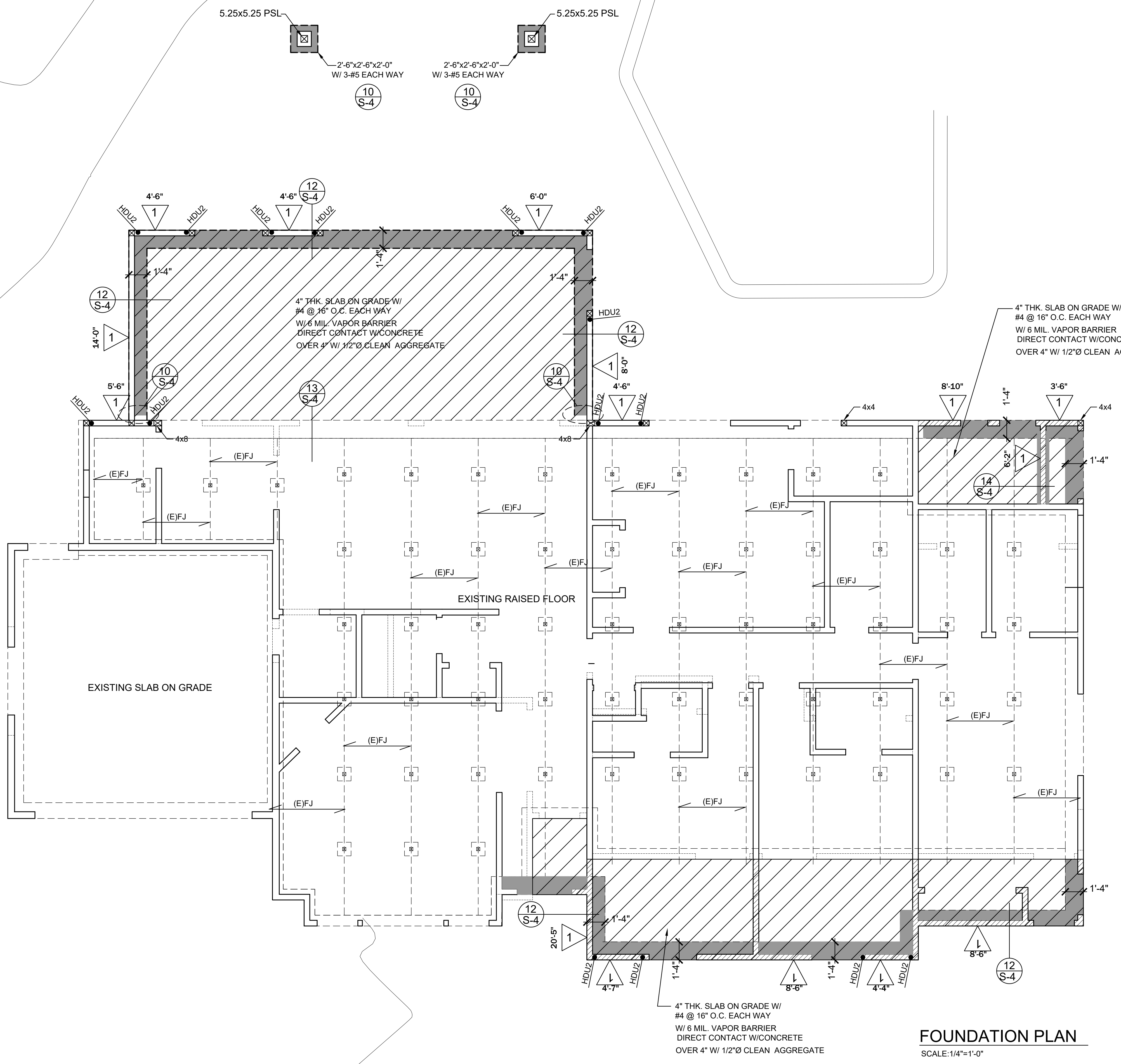
ADDITION TO EXISTING S.F.D.
5777 VALERIE AVE
WOODLAND HILLS, CA 91367

REGISTERED PROFESSIONAL ENGINEER
VIKRAM KHATKADOUR
No 3141
Exp. 6-30-2024
STRUCTURAL
STATE OF CALIFORNIA
MAY 31, 2023

REV:
Date: MAY 2023
Scale: AS SHOWN
Drawn: D.S.
Job:
Sheet:
S-1
1 Of 4 Sheets

LEGEND

-  NEW FOUNDATION
-  EXISTING FOUNDATION
-  SIMP. HOLDDOWN
ICC ESR #2330
-  NEW WALLS
-  ADDITION



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

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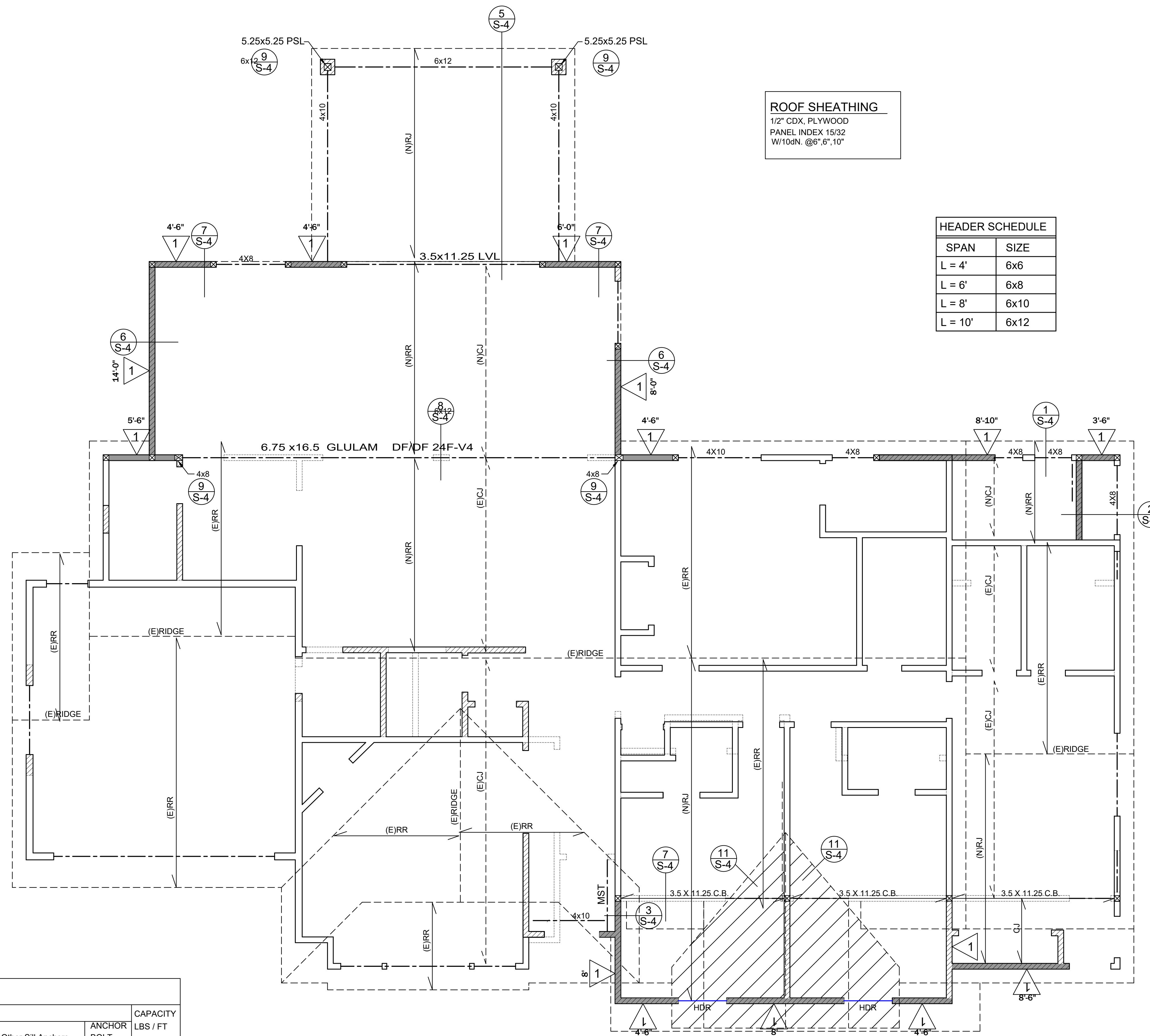
FOUNDATION PLAN

ADDITION TO EXISTING S.F.D.
1201 SAN LUIS REY DR.,
GLENDALE, CA 91208



REV:	
Date:	MAY 2023
Scale:	AS SHOWN
Drawn:	D.S.
Job:	
Sheet:	

- LEGEND**
- RJ ROOF JOIST 2x10 @ 16" O.C. U.N.O.
 - RR ROOF RAFTER 2x8 @ 16" O.C. U.N.O.
 - CJ CEILING JOIST 2x6 @ 16" O.C. U.N.O.
 - 4x4 POST, TYP. U.N.O.
 - (E) EXISTING
 - (N) NEW
 - C.B. CEILING BEAM
 - 15' SHEAR WALL LENGTH
 - 1 TYPE OF SHEAR WALL (SEE SCHEDULE)
 - WALL USED AS SHEAR WALL
 - NEW STUD WALL, 12 X 4 @ 16" O.C.
 - LVL REDLAM 2.0E LVL BEAM BY REDBUILT
 - GLB GLULAM BEAM
 - HDR HEADER PER (2) S-1
 - MST HORIZONTAL STRAP MST48 (14) S-1
 - CALIF. FRAMING



ROOF SHEATHING
 1/2" CDX, PLYWOOD
 PANEL INDEX 15/32
 W/10dN @6",6",10"

HEADER SCHEDULE

SPAN	SIZE
L = 4'	6x6
L = 6'	6x8
L = 8'	6x10
L = 10'	6x12

SHEAR WALL SCHEDULE

TYPE	MATERIAL	PANEL NAILING		MIN. POST @ END OF SHEAR WALL PANEL	SHEAR ANCHORAGE			CAPACITY LBS / FT	
		PERIMETER	FIELD		BLOCKING TO TOP PLATE CONNECTION	ANCHOR BOLTS SILL PLATE FOUND CONNECTION F _c =2500 PSI	All Other Sill Anchors		ANCHOR BOLT EMB.
1	1/2" STRUCTURAL 1 PLYWOOD 8d COMMON NAILS	6" O.C.	12" O.C.	4x4 STUDS	A35 @ 16" O.C.	5/8" @ 48" O.C.	3/8" @ 5" LAGS @ 24" o.c.	9"	280

ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"

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ROOF FRAMING PLAN

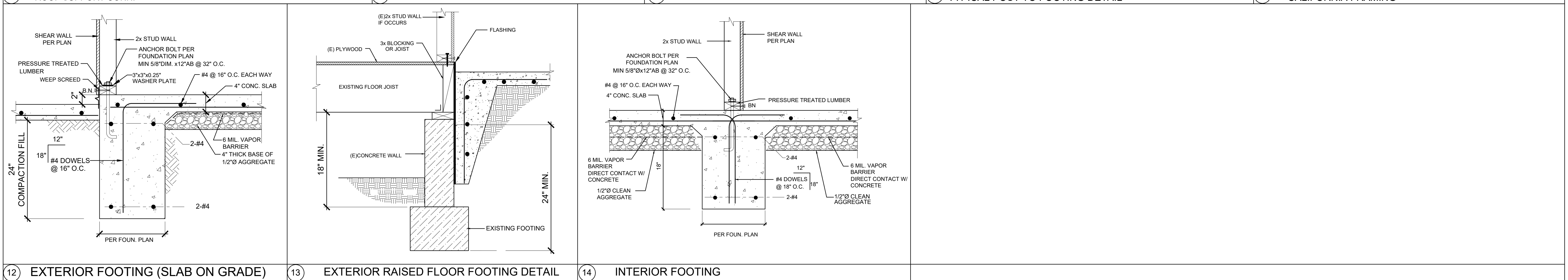
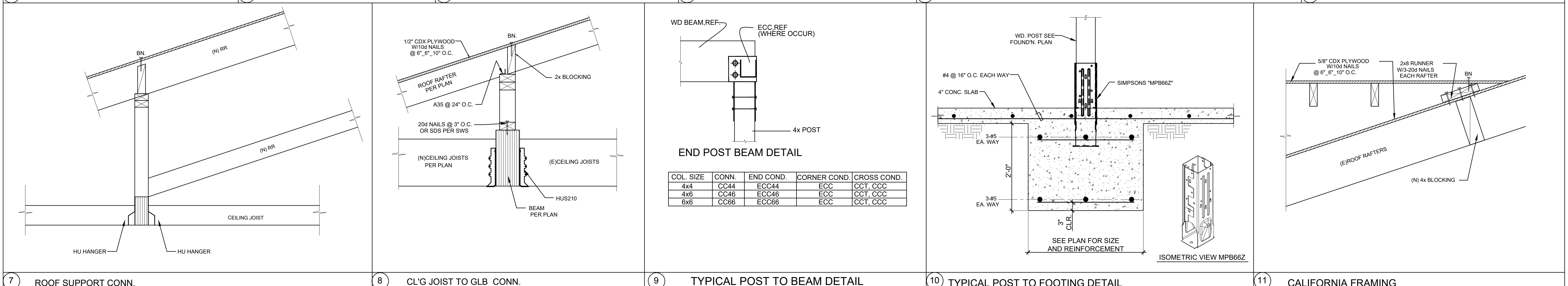
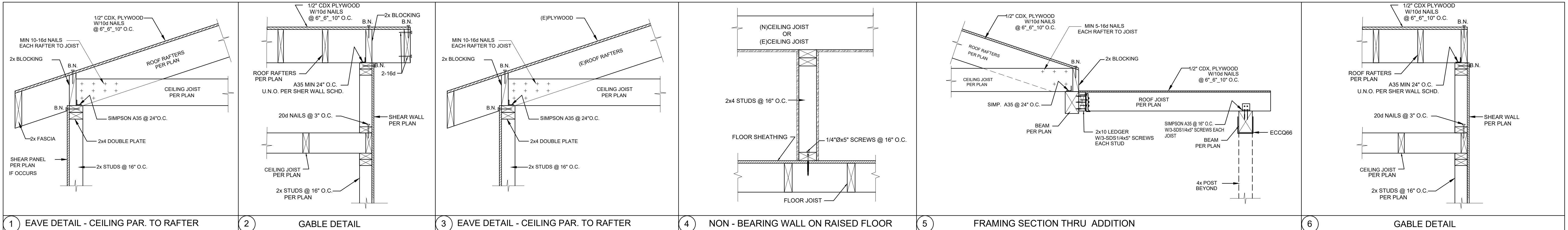
ADDITION TO EXISTING S.F.D.

1201 SAN LUIS REY DR.,
 GLENDALE, CA 91208



REV:
 Date: MAY 2023
 Scale: AS SHOWN
 Drawn: D.S.
 Job:
 Sheet:

S-3



VK ENGINEERS, INC.
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STRUCTURAL DETAILS

ADDITION TO EXISTING S.F.D.
 1201 SAN LUIS REY DR.,
 GLENDALE, CA 91208



REV: _____
 Date: MAY 2023
 Scale: AS SHOWN
 Drawn: D.S.
 Job: _____
 Sheet: **S-4**
 4 Of 4 Sheets



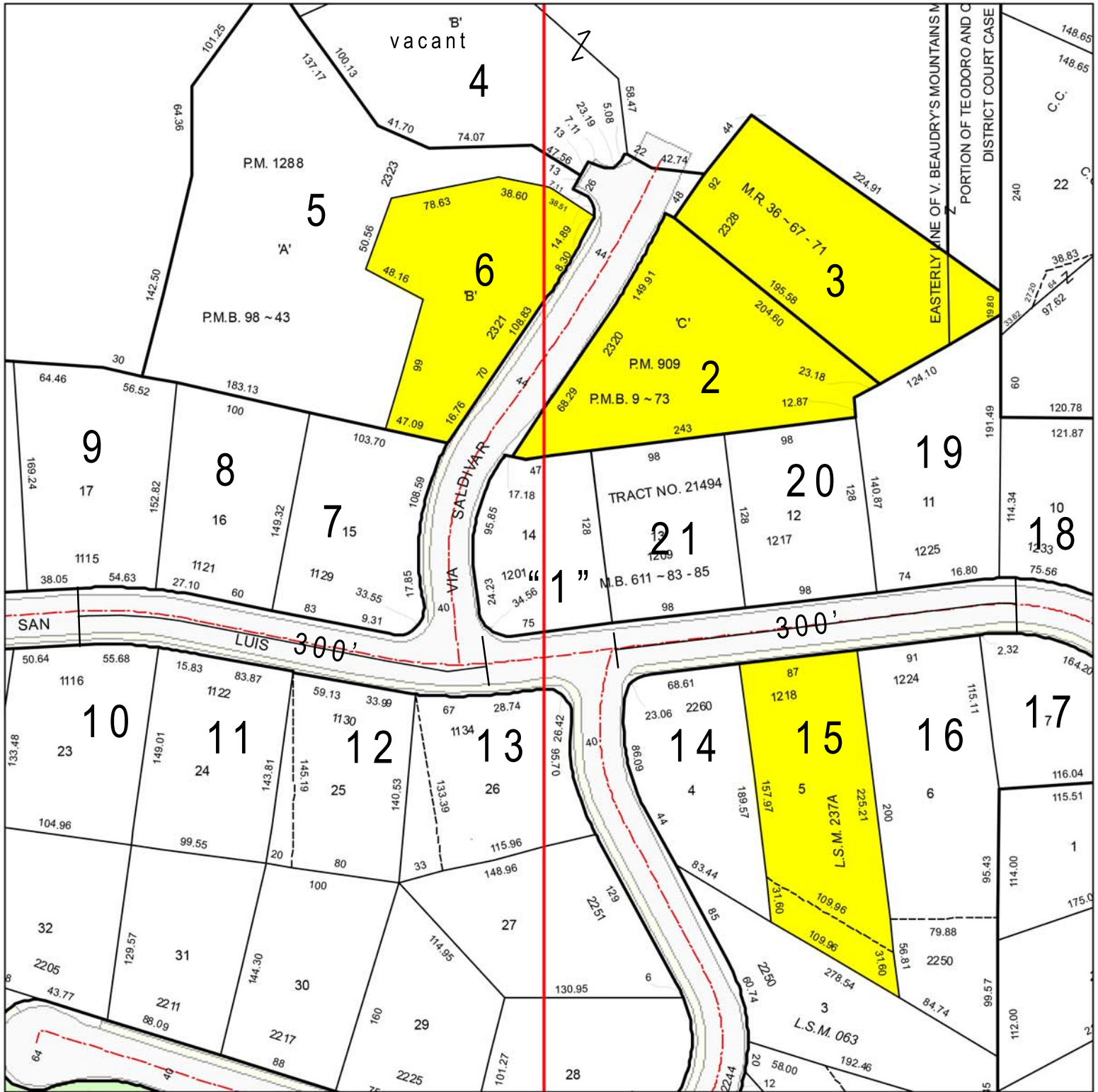












NEIGHBORHOOD SURVEY MAP

LEGEND

- PHOTO & SURVEY LABEL #
- SUBJECT PROPERTY(IES) "1"
- 2-STORY

SITE LOCATION: 1201 SAN LUIS REY DR
GLENDALE, CA 91208

APN: 5614-028-032

DATE: Feb 23, 2023



SCALE: 1"=100'

PREPARED BY:



412 W. BROADWAY STE 206
GLENDALE, CA 91204
818-409-8921

NEIGHBORHOOD SURVEY FOR:

1201 SAN LUIS REY DR

KEY	ADDRESS	PARCEL NUMBER	LOT S.F.	HOUSE S.F.	FLOOR AREA	STORIES	ESTIMATED SETBACK (Feet)	ROOF
1(SITE)	1201 SAN LUIS REY DR	5629-006-012	11,520	1,918	17%	1	37.5	SHINGLE
2	2320 VIA SALDIVAR ST	5630-025-007	22,950	2,645	12%	2	10	TILE
3	2328 VIA SALDIVAR ST	5630-025-003	22,660	3076	14%	2	50	TILE
4	VACANT LOT	5630-025-002	1,517,630					
5	2323 VIA SALDIVAR ST	5630-025-005	46,360	3,630	8%	1	30	TILE
6	2321 VIA SALDIVAR ST	5630-025-006	18,300	2,470	13%	3	20	SPANISH TILE
7	1129 SAN LUIS REY DR	5614-037-001	14,900	1,669	11%	1	30	SHINGLE
8	1121 SAN LUIS REY DR	5614-037-002	13,741	1,909	14%	1	30	SPANISH TILE
9	1115 SAN LUIS REY DR	5614-037-003	17,066	1,909	11%	1	30	TILE
10	1116 SAN LUIS REY DR	5614-037-009	14,523	1,846	13%	1	35	SHINGLE
11	1122 SAN LUIS REY DR	5614-037-023	15,943	1,841	12%	1	30	SHINGLE
12	1130 SAN LUIS REY DR	5614-037-022	14,364	1976	14%	1	25	SPANISH TILE
13	1134 SAN LUIS REY DR	5614-037-026	12,765	2037	16%	1	20	TILE
14	2260 VIA SALDIVAR ST	5614-025-025	13,200	2,958	22%	1	10	TILE
15	1218 SAN LUIS REY DR	5614-025-034	16,720	3792	23%	2	20	SPANISH TILE
16	1224 SAN LUIS REY DR	5614-025-029	16,800	1669	10%	1	15	SHINGLE
17	1234 SAN LUIS REY DR	5614-025-028	12,180	2303	19%	1	15	FLAT
18	1233 SAN LUIS REY DR	5614-028-028	12,600	1590	13%	1	30	SHINGLE
19	1225 SAN LUIS REY DR	5614-028-029	17,920	1,344	8%	1	20	SHINGLE
20	1217 SAN LUIS REY DR	5614-028-030	12,544	2096	17%	1	25	TILE
21	1209 SAN LUIS REY DR	5614-028-031	12,544	2630	21%	1	30	TILE
AVERAGE			16,980	2,265	13%	1	26	
1 (SITE) PROPOSED	1201 SAN LUIS REY DR	5629-006-012	11,520	2,734	24%	1	37.5	COMP. SHINGLE
NOTE: #4 & PROPOSED NOTE CALCULATED IN AVERAGE								



1. 1201 SAN LUIS REY DR (PHOTO FROM SAN LUIS REY)



1. 1201 SAN LUIS REY DR (PHOTO FROM VIA SALDIVAR ST)



2. 2320 VIA SALDIVAR ST



3. 2328 VIA SALDIVAR ST



4. VACANT (5630-025-0020 & 5. 2323 VIA SALDIVAR ST



6. 2321 VIA SALDIVAR ST



7. 1129 SAN LUIS REY DR (PHOTO FROM SAN LUIS REY)



7. 1129 SAN LUIS REY DR (PHOTO FROM VIA SALDIVAR ST)



8. 1121 SAN LUIS REY DR



9. 1115 SAN LUIS REY DR



10. 1116 SAN LUIS REY DR



11. 1122 SAN LUIS REY DR



12. 1130 SAN LUIS REY DR



13. 1134 SAN LUIS REY DR



14. 2260 VIA SALDIVAR ST



15. 1218 SAN LUIS REY DR



16. 1224 SAN LUIS REY DR



17. 1234 SAN LUIS REY DR



18. 1233 SAN LUIS REY DR



19. 1225 SAN LUIS REY DR



20. 1217 SAN LUIS REY DR



21. 1209 SAN LUIS REY DR