



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

September 5, 2024 <i>Decision</i>	1028 N. Jackson Street <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5644-009-023 <i>APN</i>
PADR-000701-2023 <i>Case Number</i>	Nina Tchaghayan <i>Applicant</i>
Shoghig Yepremian <i>Case Planner</i>	Astour Koshkerian <i>Owner</i>

Project Summary

The applicant is proposing to construct additions totaling 697 square feet (43 square feet to the front entry area and 654 square feet to the rear) to the existing 1,305-square-foot single-family, one-story residence. The existing 330 square foot detached garage is proposed to remain. The project will also include a concrete patio and window and door replacements. The property is in the R1 (Low Density Residential) Zone, FAR District II.

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because it is a minor addition to an existing building.

Existing Property/Background

The project site is 8,505 square feet located on the southeast corner of Jackson and Dryden Streets. The lot is developed with an existing 1,305-square-foot single-family residence and a 330 square foot detached garage constructed in 1938. The primary façade of house faces west towards Jackson and access to the garage is taken from Dryden Street.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI FAR District: II

Although this design review does not convey final zoning approval, the project has been

reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

The site is flat and no grading is proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	6,491 sf	3,200-10,150 sf	8,505 sf
Setback	21'8"	4'1"-28'6"	27'8"
House size	1,627 sf	976-2,829 sf	2,002 sf
Floor Area Ratio	0.26	0.13-0.38	0.24
Number of stories	-	1-2	1

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

The addition is set behind the existing volume of the house with no changes to the setbacks along the north, west, or south sides. The addition will not extend the building closer to the street and preserves prevailing setbacks of the immediate neighborhood.

Garage Location and Driveway

yes **n/a** **no**

If "no" select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The addition is located behind the existing house and meets all setback requirements.
- The street front setback along Jackson Street and the street side setback along East Dryden Street will not be altered.
- Landscaping will be maintained and the site will exceed its required minimum 40% open space.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If “no” select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If “no” select from below and explain:

Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The addition remains one-story in height and with a massing and scale similar to the surrounding neighborhood.
- The addition retains the existing setbacks along all sides of the property.
- The roof form is simple, mirrors the existing cross-gable roof, and is submissive in height to the existing roof form.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If “no” select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If “no” select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

The current entrance door faces south within the existing inset porch and will be moved to face east. This is a minor alteration to the entrance and appropriate to the style and design.

Windows

- yes** **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

The new windows are casement and fixed windows with sills which mirror the existing window operations and are appropriate to the traditional style of the existing house.

Privacy

- yes** **n/a** **no**

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

- yes** **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately

Paving Materials

- yes** **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

- yes** **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project

- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

yes **n/a** **no**

If "no" select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed project retains the design features of the existing house including the wood siding in the gables while introducing this feature on the addition for a seamless design and detailing between existing and proposed.
- New windows are appropriate to the traditional style of the house and mirror the operations already found on the existing residence.
- The overall design and detailing of the addition are compatible with the existing residence and meets the city's Comprehensive Design Guidelines for Single Family Properties.

Recommendation / Draft Record of Decision

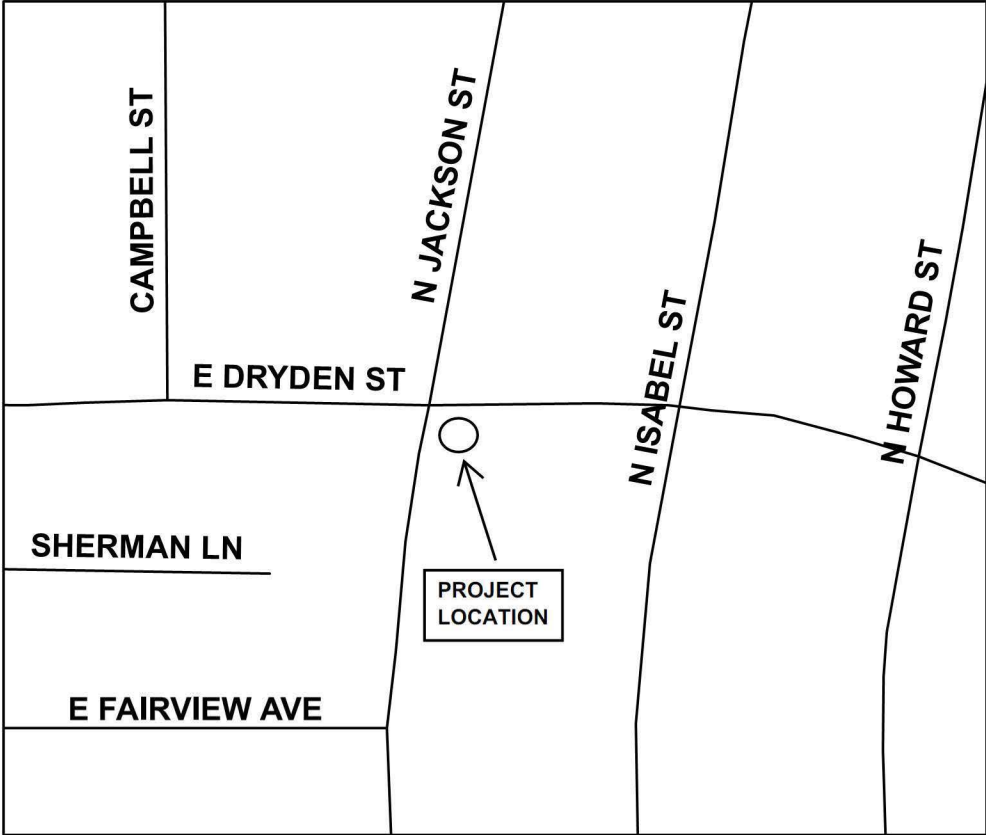
Based on the above analysis, staff recommends **Approval**. The following conditions are recommended as part of the approval:

Conditions

1. That the existing brick wainscotting below the bay window be retained.
2. That the stucco color, roof shingles and window details to be consistent with the plans submitted.

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map



1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.

2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.

3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

4. NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.

5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.

6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED IN THE PUBLIC WAY.

8. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

9. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

10. SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF AND VEHICLE TRACKING.

9 STORM WATER & MANAGEMENT NOTES

- A. NO OTHER APPROVALS ARE GRANTED. ANY CONSTRUCTION OR LAND USE CONTRADICTORY TO THE GMC IS NOT APPROVED BY THIS PERMIT.
- B. ANY NEW FENCES, GATES, OR WALLS FOR WHICH A BUILDING PERMIT IS NOT REQUIRED SHALL REQUIRE ZONING/DESIGN REVIEW APPROVAL, PRIOR TO CONSTRUCTION.
- C. RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.
- D. THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THE LOT OR WITHIN TWENTY (20) FEET OF THE SITE (IF TRUE)
- E. NO ROOFTOP EQUIPMENT IS ALLOWED

8 PLANNING GENERAL NOTES

ALL DEMOLITION AND GRADING PERMITS WILL REQUIRE A PRECONSTRUCTION MEETING PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK AND A PROJECT SIGN MUST BE POSTED ON SITE.

IF A SINGLE FAMILY DWELLING IS BEING DEMOLISHED THAT IS LOCATED ON A SLOPED LOT A TOPOGRAPHIC SURVEY IS REQUIRED TO BE PERFORMED PRIOR TO THE DEMOLITION OF THE STRUCTURE. THIS MAY ALSO BE REQUIRED FOR A FLAT LOT AS DETERMINED BY BUILDING OFFICIAL.

7 DEMOLITION NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2020 EDITION OF LARC, CURRENT EDITIONS OF CAB, CAMC, CAEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION

2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION.

3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.

4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING.

5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.

6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE.

7. THE FINISH GRADE SHALL SLOPE A MIN. OF 5%, OR 6", TO A POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2%. (CRC R401.3)

8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2% (CRC R403.1.7.3)

9. SETBACK CERTIFICATION REQUIREMENT: A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION OF THE SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE JOB FILE PRIOR TO THE FIRST INSPECTION.

10. ANY EASEMENTS ON LOT? YES

11. ANY OAK TREES ON OR OVERHANGING ON LOT? NO

12. ANY SLOPE OF 3:1 OR STEEPER WITHIN 40' OF ADDITION? NO

13. ANY POOLS ON SITE? NO

14. SPECIFY # OF SF OF LANDSCAPE PROPOSED - NONE

15. NEW PROPOSED ADU IS LOCATED LESS THAN 1/2 MILE OF PUBLIC TRANSIT. REFER TO VICINITY MAP.

16. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

17. AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS REQUIRED.

18. PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

19. PROVIDE (70) (72) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (1210.2.3, 2406.4.5, R307.2, R308.4)

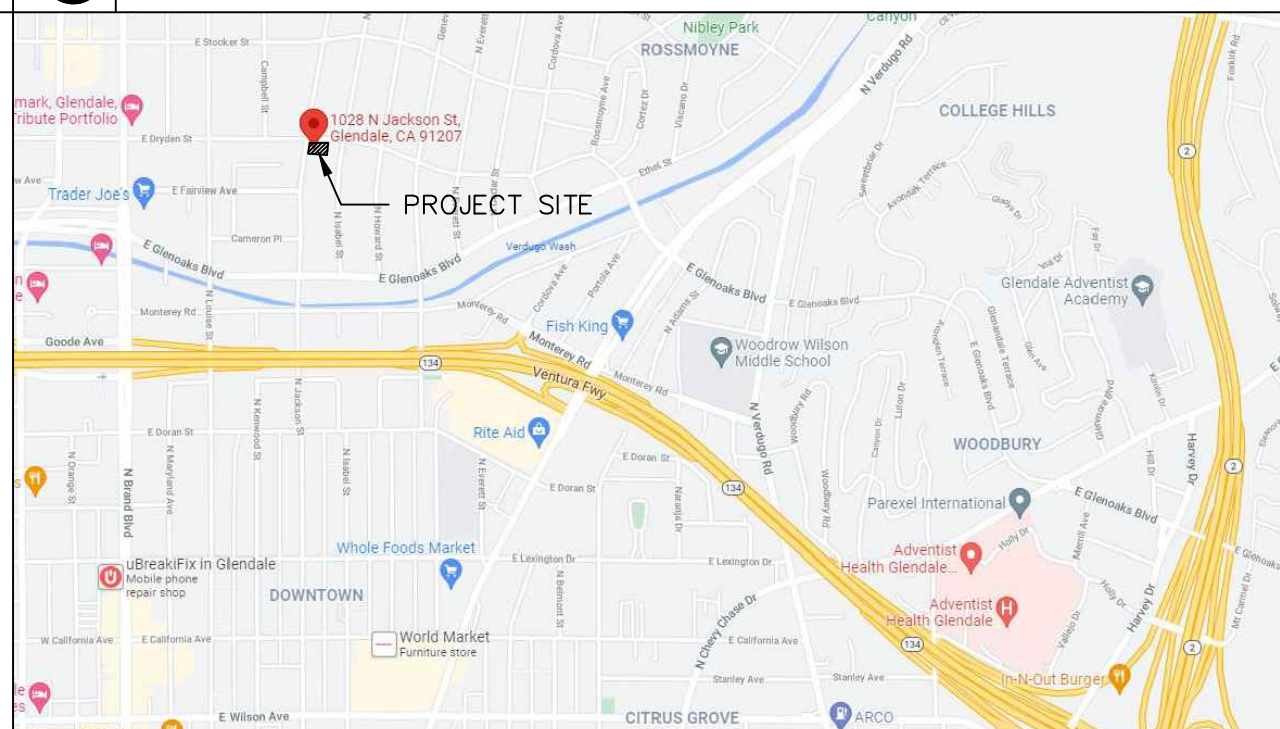
20. WATER HEATER MUST BE STRAPPED TO WALL. (507.3 & LAPC)

21. SPRINKLER SYSTEM MUST BE APPROVED BY THE MECHANICAL DIVISION PRIOR TO INSTALLATION.

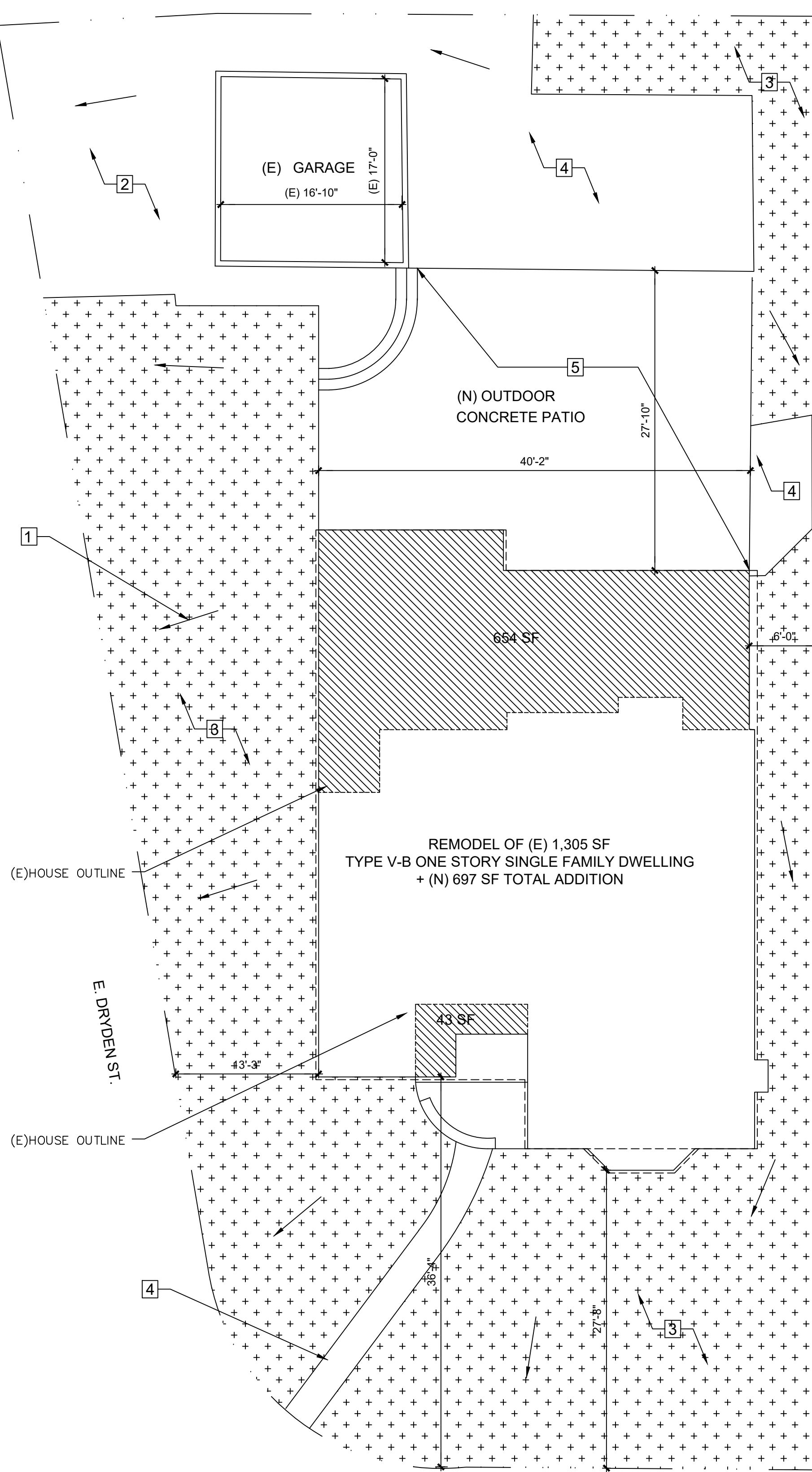
22. A FIRE ALARM (VISUAL & AUDIBLE) SYSTEM IS REQUIRED. THE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION. (LAMC 57.122)

23. CARBON MONOXIDE ALARM IS REQUIRED PER (420.6, R315)

6 GENERAL NOTES



5 VICINITY MAP



PLOT PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- 1 DIRECTION OF SHEET FLOW MIN. 2%
- 2 (E) PAVED DRIVEWAY TO REMAIN
- 3 (E) LANDSCAPE TO REMAIN
- 4 (E) CONCRETE TO REMAIN
- 5 (N) CONCRETE PATIO

4 PLOT PLAN

OWNERS:
ASTOUR AND ARPEEK KOSHKERIAN
1028 N JACKSON ST
GLENDALE, CA 91207

DESIGNER:
NITCH DESIGN GROUP
NINA TCHAGHAYAN
2100 N VERDUGO RD
GLENDALE, CA 91208
(818) 421-3478
NINA@NITCHDESIGNGROUP.NET

STRUCTURAL ENGINEER:
ARPA TECHNOLOGY GROUP
ARMEN MARTIROSSYAN
3401 OCEAN VIEW BLVD
GLENDALE, CA 91208
ARMEN MARTIROSSYAN 818-434-1708
AMARTIROSSYAN@GMAIL.COM

3 PROJECT TEAM

OWNERS: ASTOUR AND ARPEEK KOSHKERIAN

ADDRESS: 1028 N JACKSON ST., GLENDALE, CA 91207

LOT #: 262

APN #: 5644-009-023

ZONE: R1-II

FLOOR AREA: LOT AREA: 8,505 SF
FAR: 8,505 SF * 0.40 = 3,402 SF
TOTAL PROPOSED FAR: 2,002 SF / 8,505 SF = 23.5%

LOT COVERAGE: MAX. LOT COVERAGE PERMITTED:
8,505 SF * 0.40 = 3,402 SF
TOTAL PROPOSED LOT COVERAGE:
2,002 SF + 330 = 2,332 SF

LANDSCAPE: 4,512 SF (EXISTING)
3,762 SF (PROPOSED) / 8,505 SF = 44%

BUILDING AREA: EXISTING RESIDENCE: 1,305 SF
EXISTING GARAGE: 330 SF (NO CHANGE)
NEW ADDITION: 697 SF

BUILDING HT.: 16'-11"

FRONT SETBACK: 27'-8" (STREET) - EXISTING NO CHANGE

SIDE SETBACK: 13'-3" (STREET) - EXISTING NO CHANGE

INTERIOR SETBACK: 6'-0" PROPOSED

USE: SINGLE FAMILY RESIDENCE

RESIDENTIAL DENSITY: 1 DWELLING PER LOT

DEMO CALC: TOTAL EXISTING AREA (WALLS & ROOF) = 3,171 SF
TOTAL DEMO AREA (WALLS & ROOF) = 946 SF
946 / 3,171 = 30% TOTAL DEMO

SCOPE: TYPE V-B ONE STORY SINGLE FAMILY DWELLING AND
(N) 697 SF ADDITION

APPLICABLE CODES:
2019 EDITION OF CBC (STRUCTURAL ONLY), CRC, CMC, CPC, CALIFORNIA ENERGY CODE, CALGREEN AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION

OCCUPANCY GROUP:
R3 (RESIDENCE)
U (PRIVATE GARAGE)

CONSTRUCTION TYPE: V-B

2 PROJECT INFO

- A0.0 GENERAL NOTES AND INFO
- A1.0 EXISTING SITE PLAN
- A1.1 OVERALL SITE PLAN
- A2.0 EXISTING PLAN
- A2.1 PROPOSED PLAN
- A2.2 PROPOSED ROOF PLAN
- A3.0 EXISTING ELEVATIONS
- A3.1 EXISTING ELEVATIONS
- A3.2 PROPOSED ELEVATIONS
- A3.3 PROPOSED ELEVATIONS
- A6.0 SCHEDULES
- A8.0 PROPOSED POVS
- T-1 TITLE 24
- T-2 TITLE 24
- S-1.1 GENERAL NOTES
- S-1.2 NOTES AND SCHEDULES
- S-1.3 NOTES AND SCHEDULES
- S-2 TYPICAL WOOD DETAILS
- S-3.1 DETAILS
- S-3.2 DETAILS
- S-4.1 FOUNDATION PLAN
- S-4.2 ROOF FRAMING PLAN

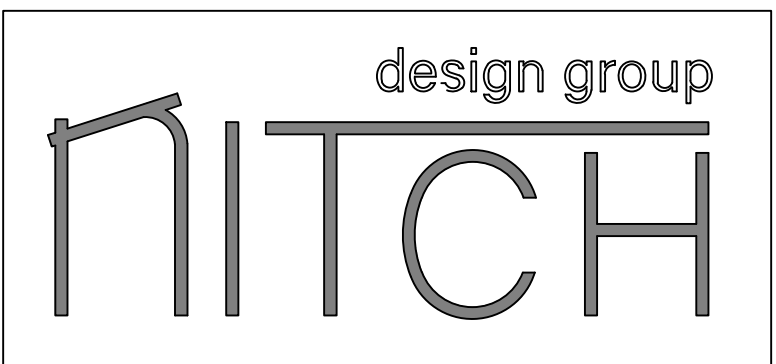
1 SHEET INDEX

KOSHKERIAN RESIDENCE
1028 N JACKSON ST.
GLENDALE, CA 91207

PLAN CHECK XX.XX.2023

NO. DATE REVISION:
X
X
X

PRELIMINARY
NOT FOR CONSTRUCTION



SHEET TITLE :
GENERAL NOTES

AND INFO

PROJECT NO. :
PROJECT ADDRESS: 1028 N JACKSON ST.

GLENDALE, CA 91207

SCALE : AS NOTED

A0.0

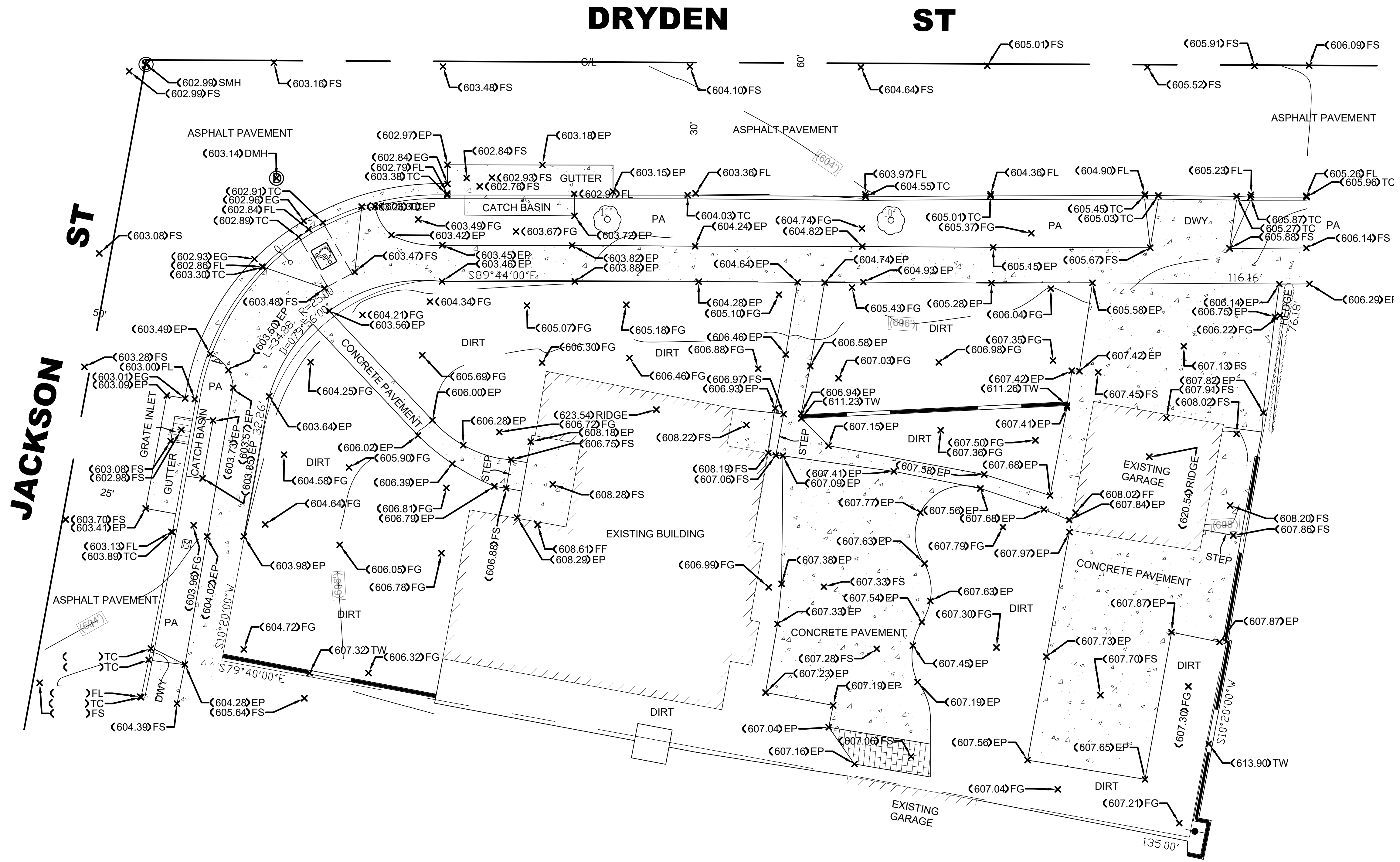
LOT 262 OF BELLEHURST PARK, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 66 PAGE 60-62 OF MAPS, IN THE OFFICE OF THE

KOSHKERIAN RESIDENCE
1028 N JACKSON ST.
GLENDALE, CA 91207

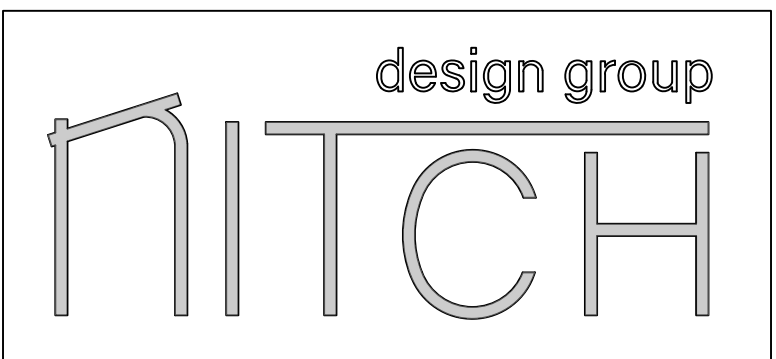
2. FOR PLOT THE EASEMENT IF ANY, OWNER NEED TO PROVIDE HYPER LINK OF PRELIMINARY TITLE REPORT.

PLAN CHECK XX.XX.2021

NO.	DATE:	REVISION:
X		
X		
X		



PRELIMINARY
NOT FOR CONSTRUCTION



SHEET TITLE:	EXISTING SITE
PLAN	
PROJECT NO.:	
PROJECT ADDRESS:	1028 N JACKSON ST. GLENDALE, CA 91207
SCALE:	AS NOTED

A1.0

PROPOSED WINDOWS ADJACENT TO NEIGHBORS
IN BLUE

EXISTING ADJACENT WINDOWS IN RED

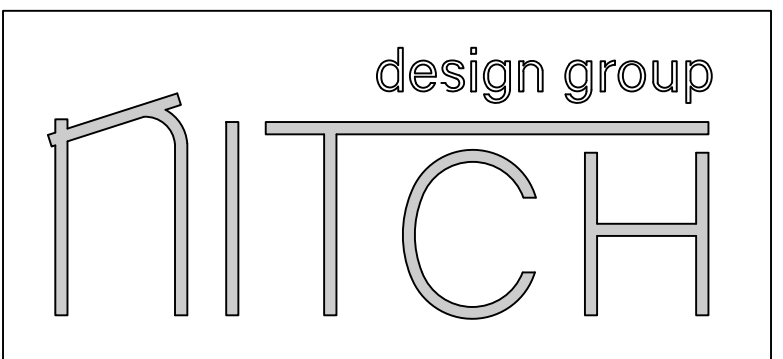
KOSHKERIAN RESIDENCE
1028 N JACKSON ST.
GLENDALE, CA 91207

PLAN CHECK XX.XX.2021

NO.	DATE	REVISION
X		
X		
X		



PRELIMINARY
NOT FOR CONSTRUCTION



SHEET TITLE :

OVERALL SITE

PLAN

PROJECT NO. :

PROJECT ADDRESS: 1028 N JACKSON ST.

GLENDALE, CA 91207

SCALE : AS NOTED

OVERALL SITE PLAN

1/16" = 1'-0"

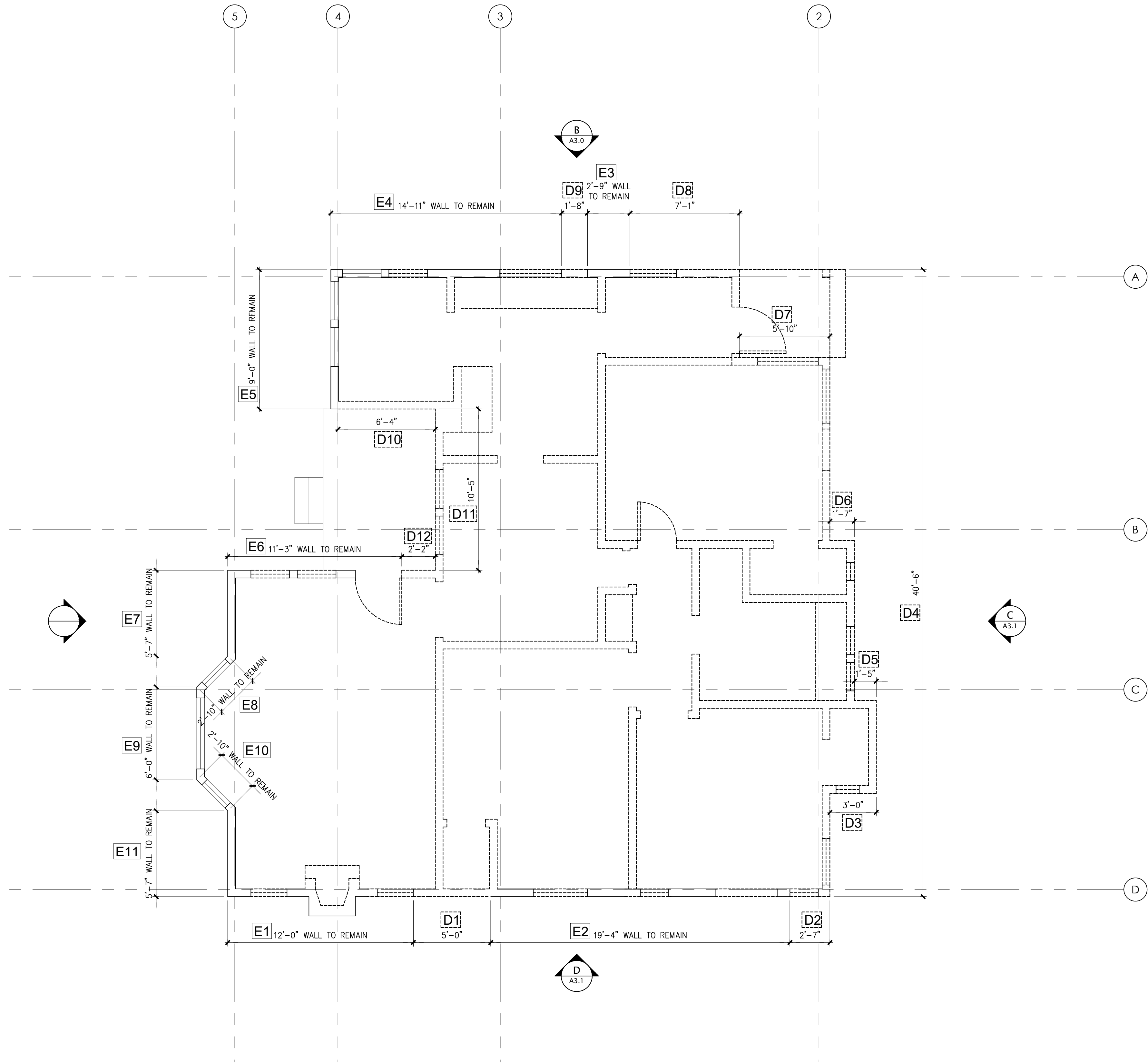


A1.1

KOSHKERIAN RESIDENCE
 1028 N JACKSON ST.
 GLENDALE, CA 91207

PLAN CHECK XX.XX.2021

NO.: DATE: REVISION:
 X
 X
 X



WALL/SYMBOL LEGEND

- (E) WALL
- DEMO WALL

LEGEND

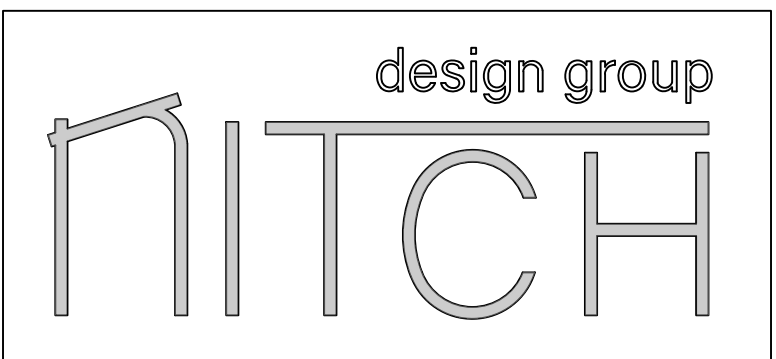
- D# = EXISTING WALL TO BE DEMOLISHED
- E# = EXISTING WALL TO REMAIN
- Ei + Di = EXISTING HOUSE TOTAL LENGTH

DEMO CALCULATIONS

- Ei + Di = 180'-1" TOTAL LENGTH OF EXISTING HOUSE
- Di = 88'-0" TOTAL LENGTH OF WALLS TO BE DEMOED
- Ei = 92'-1" TOTAL LENGTH OF WALLS TO REMAIN

EXISTING HOUSE TOTAL LENGTH = 180'-1"
 LENGTH OF EXTERIOR WALLS TO REMAIN:
 2'-9" + 14'-11" + 9'-0" + 11'-3" + 5'-7" + 5'-7" +
 6'-0" + 2'-10" + 2'-10" + 12'-0" + 19'-4" = 92'-1" (51.1%)

PRELIMINARY
 NOT FOR CONSTRUCTION



SHEET TITLE :

EXISTING PLAN

PROJECT NO. :

PROJECT ADDRESS: 1028 N JACKSON ST.

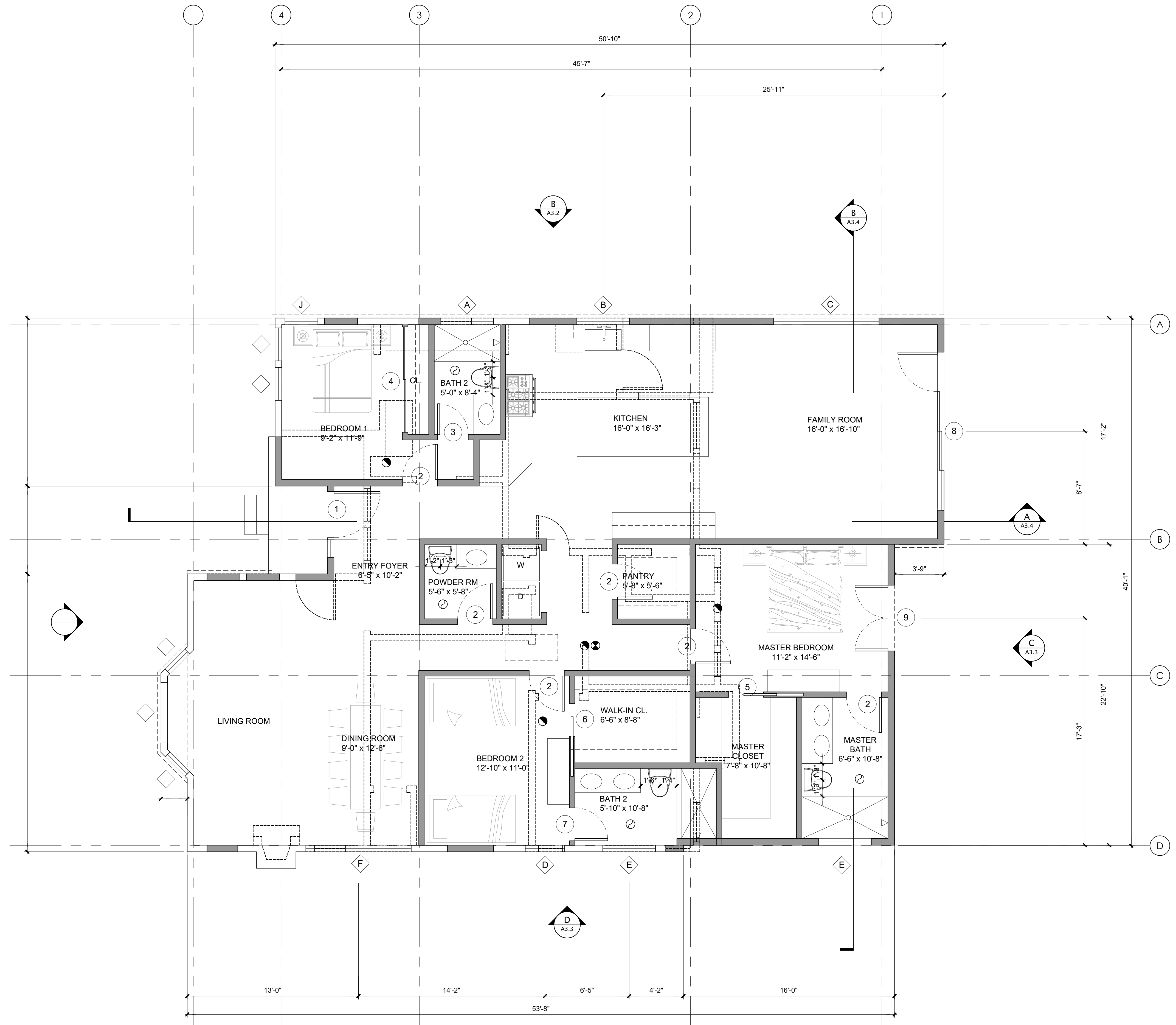
GLENDALE, CA 91207

SCALE : AS NOTED

EXISTING FLOOR PLAN W/ DEMO

1/4" = 1'-0"

A2.0



WALL/SYMBOL LEGEND

- (E) WALL
- (N) WALL 2x4 @ 16" O.C.
- ⊙ EXHAUST FAN MIN. 50 CFM
 1. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING.
 2. FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL
- ⊙ SMOKE DETECTOR

NOTE: SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP (907.2.11.4, R314.4)
- ⊙ CARBON MONOXIDE DETECTOR

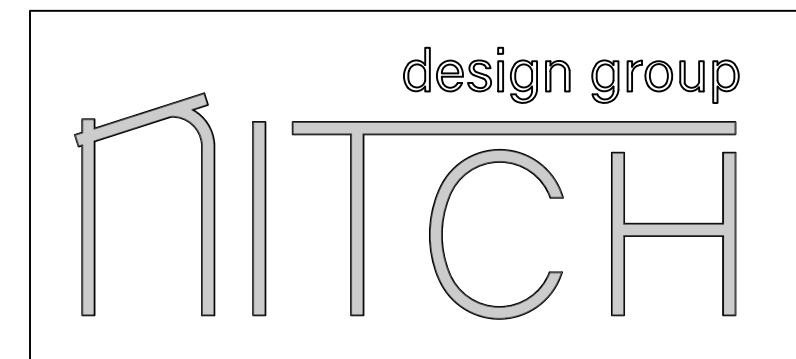
- NOTE:
GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (2406.4, R308.4)
- a. INGRESS AND EGRESS DOORS
 - b. PANELS IN SLIDING OR SWINGING DOORS
 - c. DOORS AND ENCLOSURES FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)
 - d. IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE
 - e. IN WALL ENCLOSING STAIRWAY LANDING
 - f. GUARDS AND HANDRAILS

KOSHKERIAN RESIDENCE
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GLENDALE, CA 91207

PLAN CHECK XX.XX.2021

NO.:	DATE:	REVISION:
X		
X		
X		

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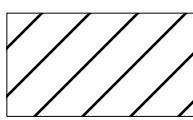
SCALE : AS NOTED

PROPOSED FLOOR PLAN



A2.1

TOTAL EXISTING ROOF AREA: 1,449 SF

 AREA OF DEMO: 219 SF

KOSHKERIAN RESIDENCE
1028 N JACKSON ST.
GLENDALE, CA 91207

PLAN CHECK XX.XX.2021

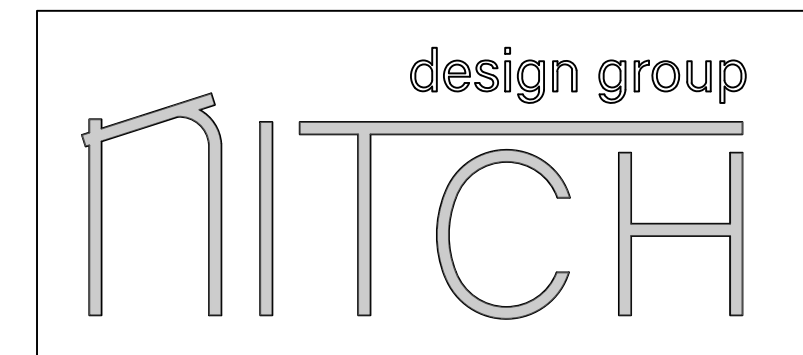
NO.: DATE: REVISION:
X
X
X

USING NET AREA =
FIRST STORY UNDER-FLOOR VENT CALCULATIONS:
REQUIRED VENTILATION = XX SF / 150 = XX SF
XX VENTS @ XX SQUARE INCHES EACH = XX SF PROVIDED

CLASS "A" FIRE RETARDANT ASPHALT
SHINGLES BY CUNES CORNING (OR
EQUAL) ICC-ERS#1415 TRUDEFINITION
DURATION COOL SHINGLES, COLOR: TBD

CLASS "A" FIRE RETARDANT ASPHALT
SHINGLES BY CUNES CORNING (OR
EQUAL) ICC-ERS#1415 TRUDEFINITION
DURATION COOL SHINGLES, COLOR: TBD

PRELIMINARY
NOT FOR CONSTRUCTION



SHEET TITLE :
PROPOSED ROOF
PLAN

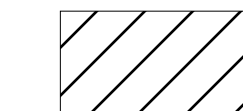
PROJECT NO. :
PROJECT ADDRESS: 1028 N JACKSON ST.
GLENDALE, CA 91207
SCALE : AS NOTED

PROPOSED ROOF PLAN



A2.2

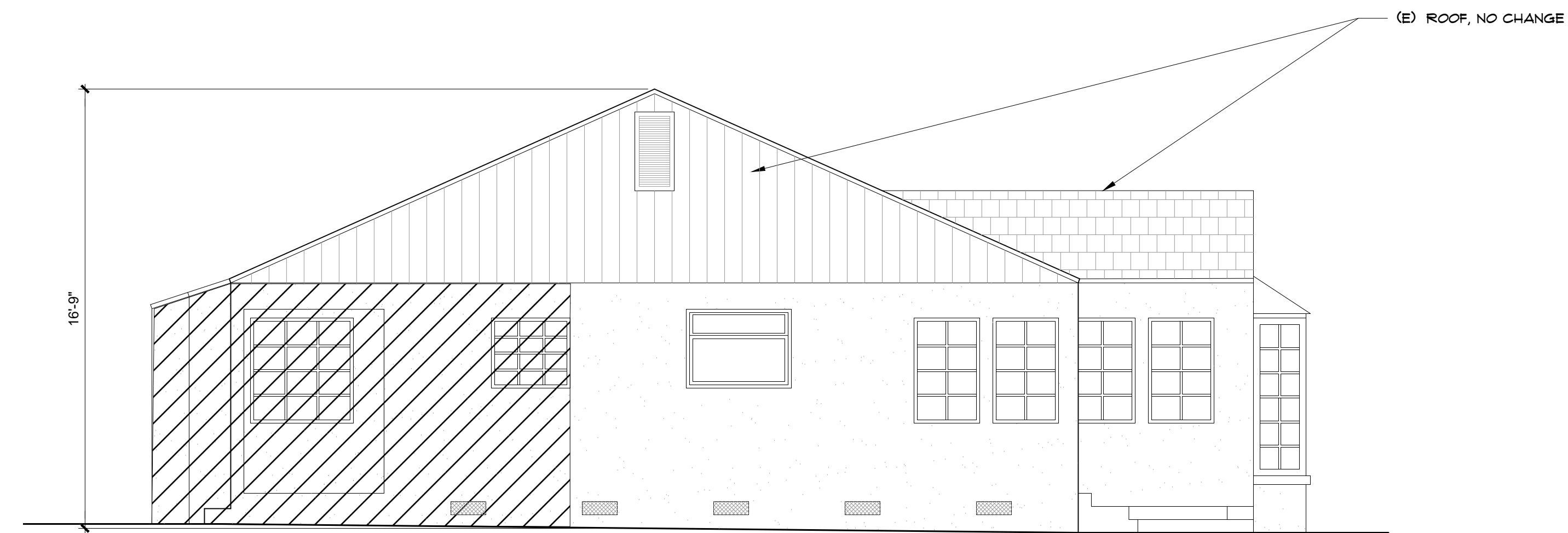
EXISTING ELEVATION AREAS
 SOUTH: 451 SF
 NORTH: 480 SF
 EAST: 371 SF
 WEST: 420 SF
TOTAL AREA: 1,722 SF

 AREAS OF DEMO
 SOUTH: 100 SF
 NORTH: 157 SF
 EAST: 371 SF
 WEST: 99 SF
TOTAL WALL DEMO: 727 SF

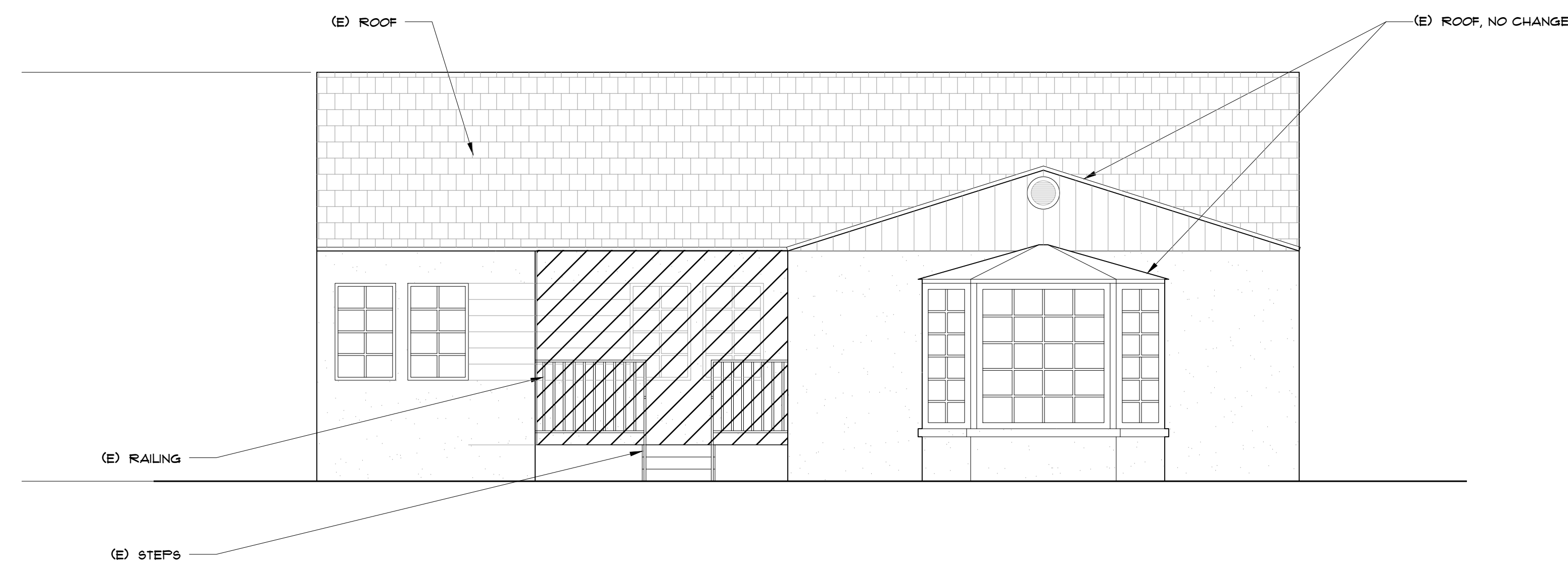
TOTAL EXISTING ROOF AREA: 1,449 SF +
 TOTAL EXISTING ELEVATION AREA: 1,722 = **3,171 SF**

TOTAL ROOF DEMO: 219 SF +
 TOTAL WALL DEMO: 727 SF = **946 SF**

OVERALL TOTAL: 946 / 3,171 = 30%



EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION

KOSHKERIAN RESIDENCE
 1028 N JACKSON ST.
 GLENDALE, CA 91207

PLAN CHECK XX.XX.2021

NO.: DATE: REVISION:

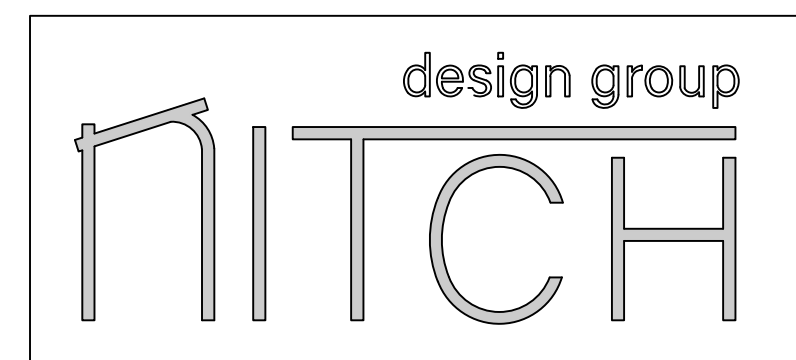
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X

X

X

PRELIMINARY
 NOT FOR CONSTRUCTION



SHEET TITLE :

EXISTING

ELEVATIONS

PROJECT NO. :

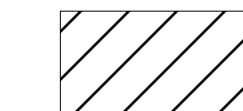
PROJECT ADDRESS: 1028 N JACKSON ST.

GLENDALE, CA 91207

SCALE : AS NOTED

A3.0

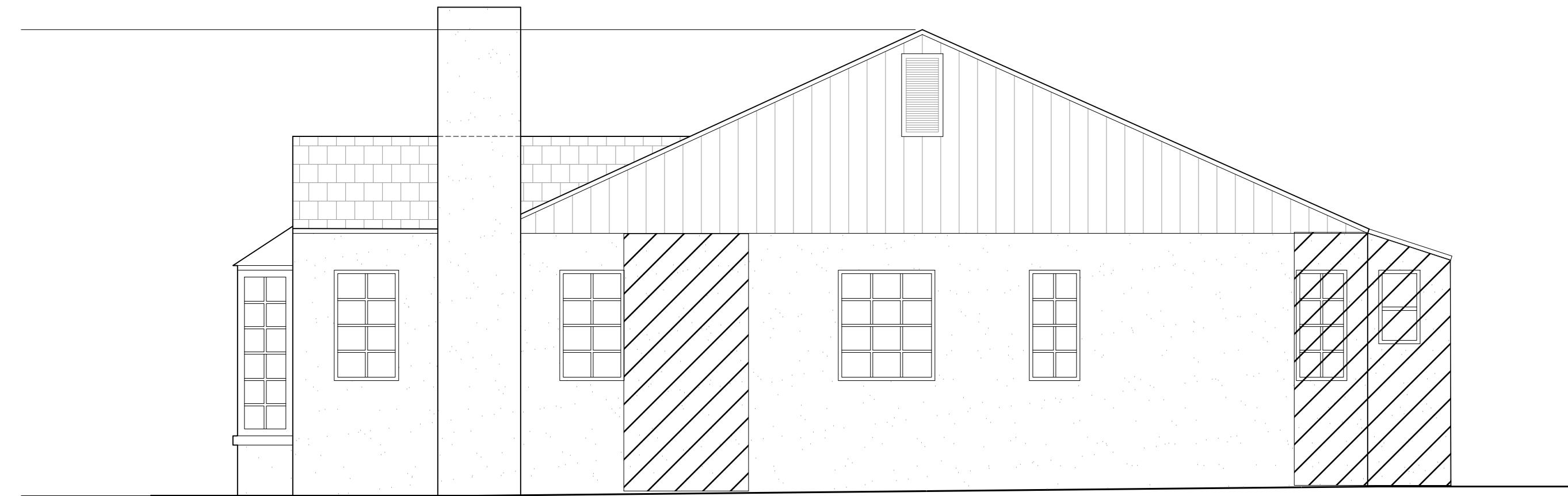
EXISTING ELEVATION AREAS
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 WEST: 420 SF
TOTAL AREA: 1,722 SF

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 SOUTH: 100 SF
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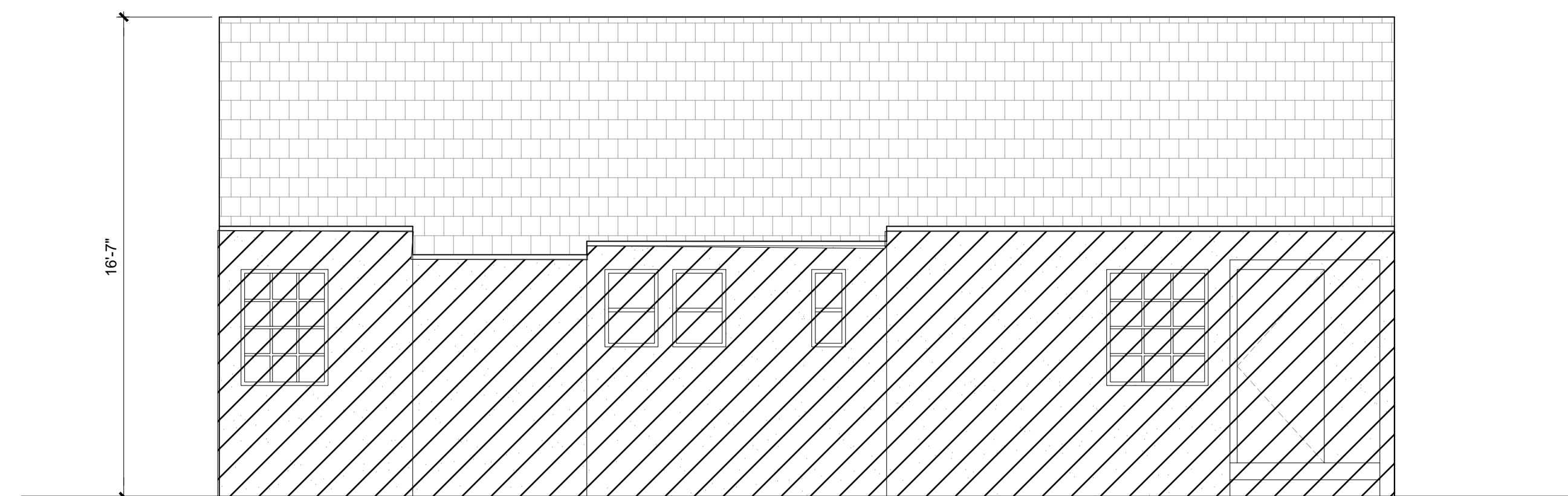
TOTAL EXISTING ROOF AREA: 1,449 SF +
 TOTAL EXISTING ELEVATION AREA: 1,722 = **3,171 SF**

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OVERALL TOTAL: 946 / 3,171 = 30%



EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION

KOSHKERIAN RESIDENCE
 1028 N JACKSON ST.
 GLENDALE, CA 91207

PLAN CHECK XX.XX.2021

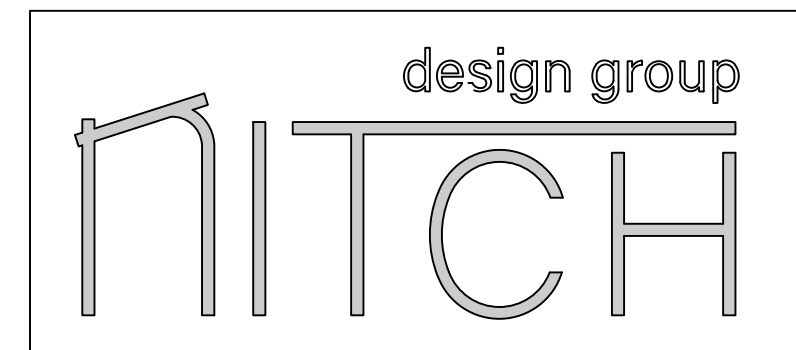
NO.: DATE: REVISION:

X

X

X

PRELIMINARY
 NOT FOR CONSTRUCTION



SHEET TITLE :

EXISTING

ELEVATIONS

PROJECT NO. :

PROJECT ADDRESS: 1028 N JACKSON ST.

GLENDALE, CA 91207

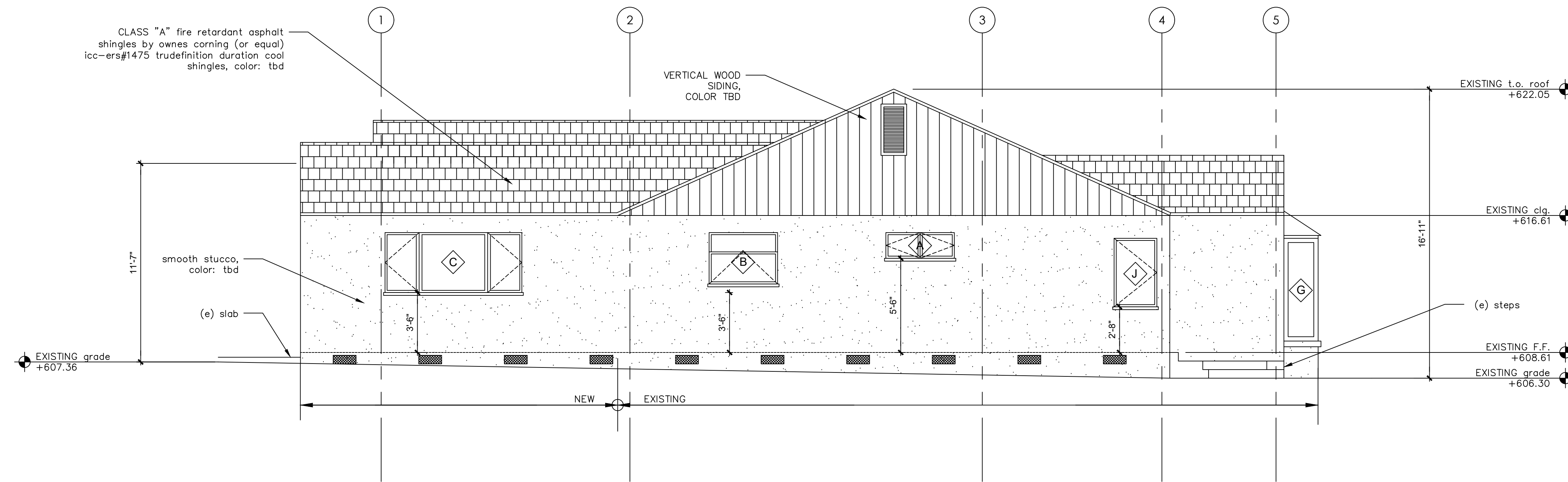
SCALE : AS NOTED

A3.1

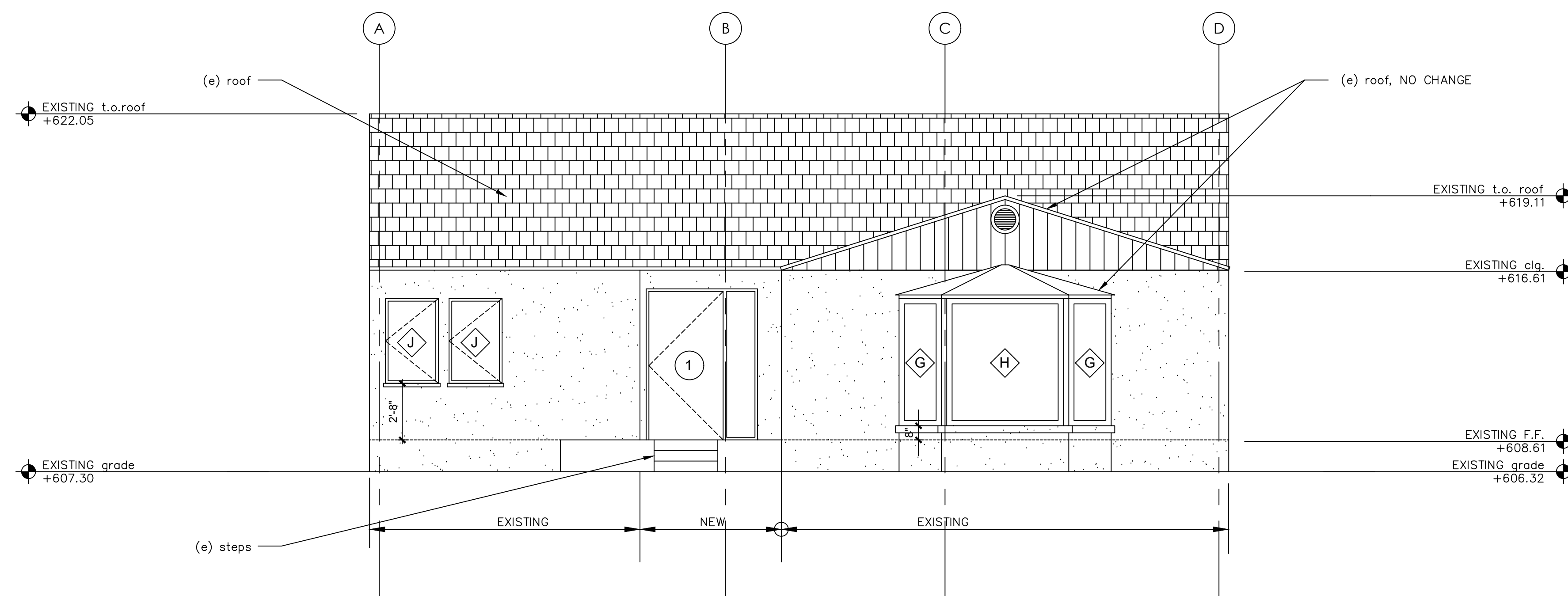
KOSHKERIAN RESIDENCE
 1028 N JACKSON ST.
 GLENDALE, CA 91207

PLAN CHECK XX.XX.2021

NO.	DATE	REVISION
X		
X		
X		

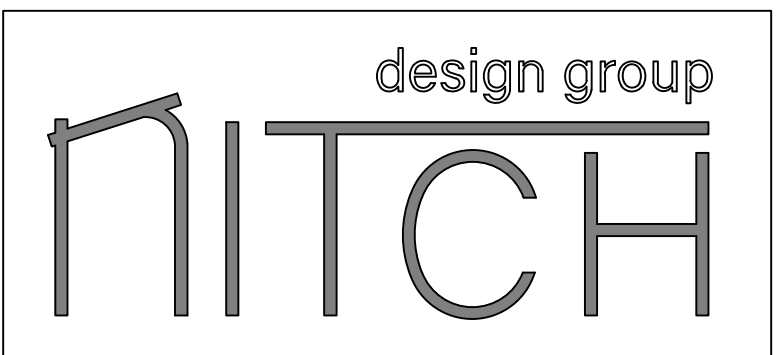


B PROPOSED NORTH ELEVATION
 SCALE : 1/4" = 1'-0"



A PROPOSED WEST ELEVATION
 SCALE : 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION



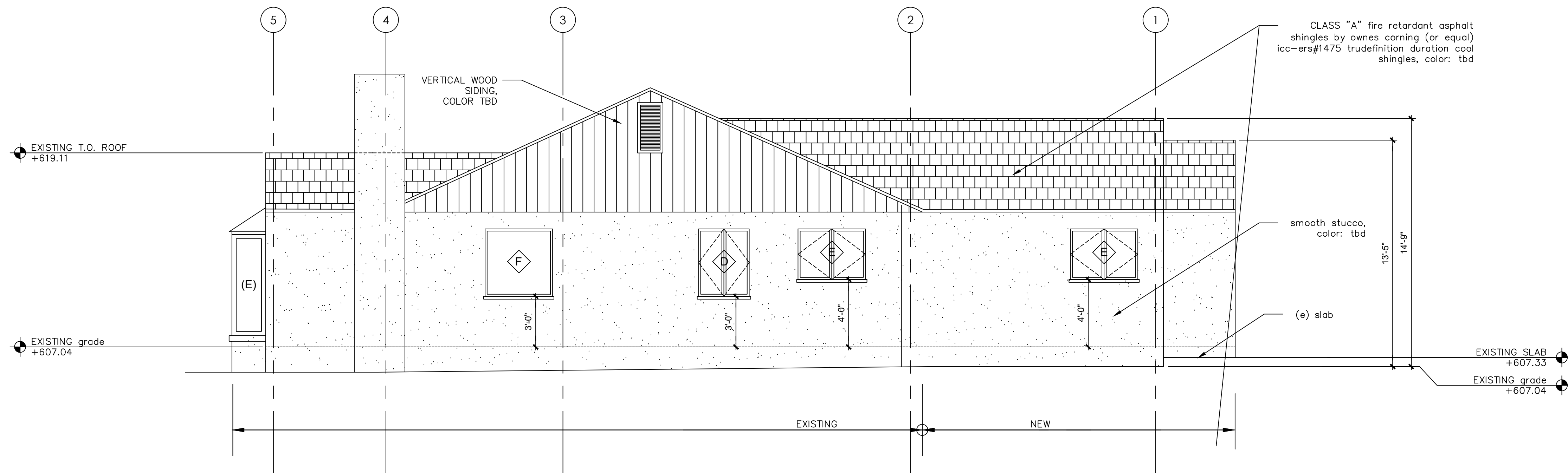
SHEET TITLE :
PROPOSED
ELEVATIONS
PROJECT NO. :
PROJECT ADDRESS: 1028 N JACKSON ST. GLENDALE, CA 91207
SCALE : AS NOTED

A3.2

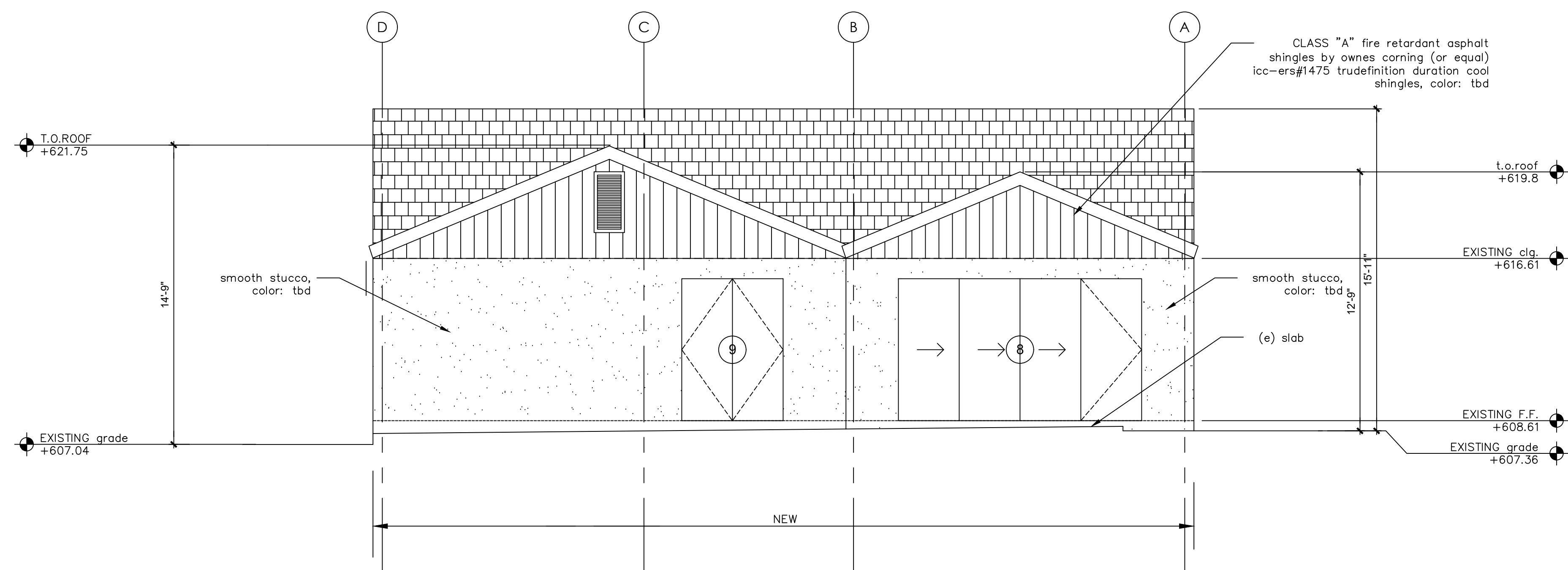
KOSHKERIAN RESIDENCE
 1028 N JACKSON ST.
 GLENDALE, CA 91207

PLAN CHECK XX.XX.2021

NO.	DATE	REVISION
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X		
X		

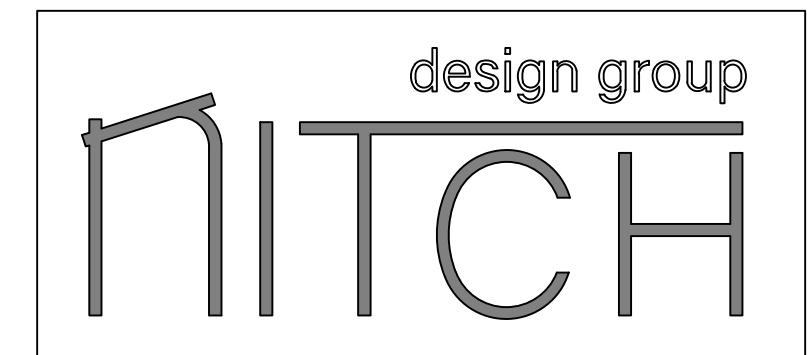


D PROPOSED SOUTH ELEVATION
 SCALE : 1/4" = 1'-0"



C PROPOSED EAST ELEVATION
 SCALE : 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION



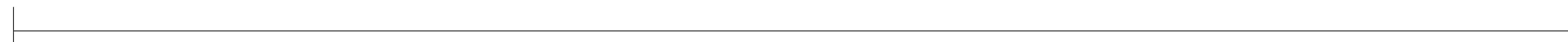
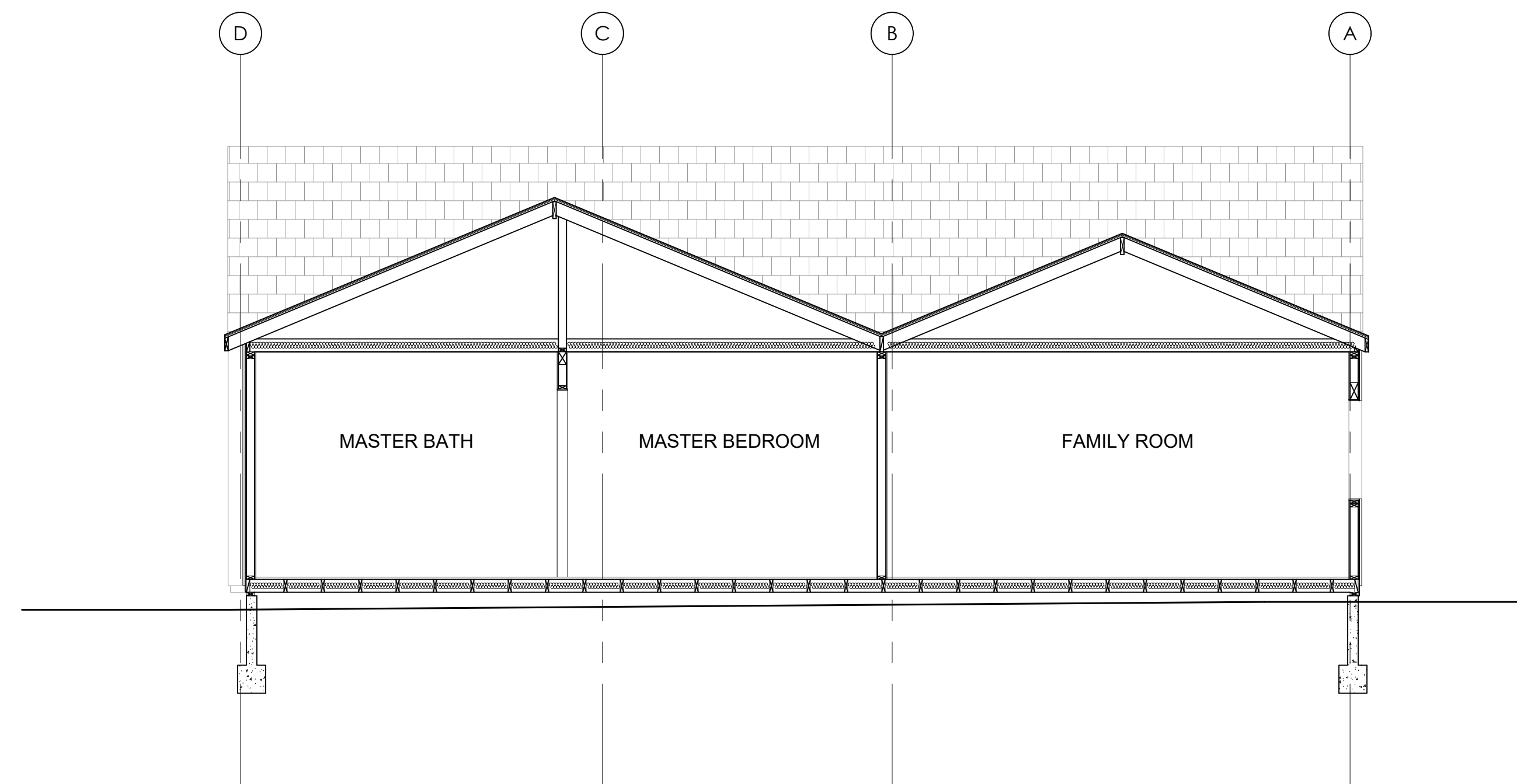
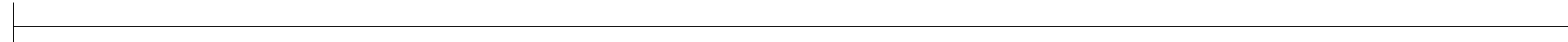
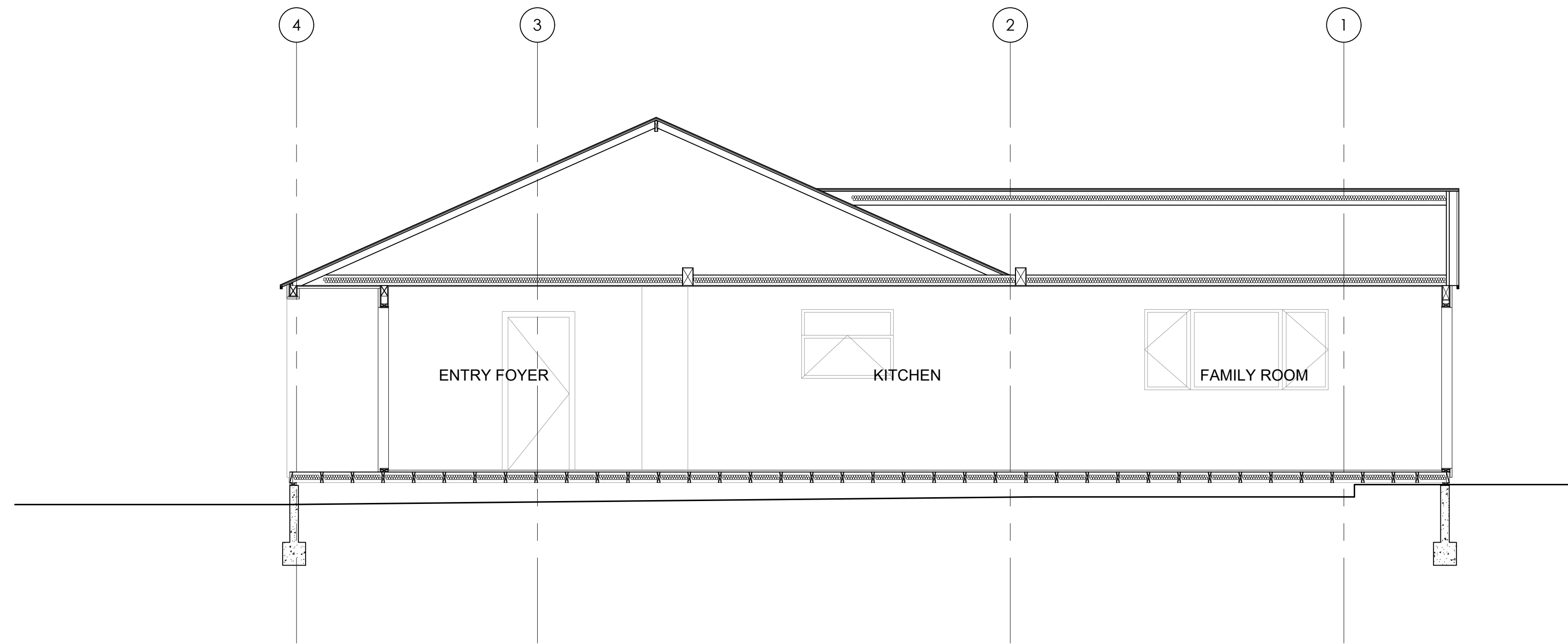
SHEET TITLE :
PROPOSED
ELEVATIONS
PROJECT NO. :
PROJECT ADDRESS: 1028 N JACKSON ST.
GLENDALE, CA 91207
SCALE : AS NOTED

A3.3

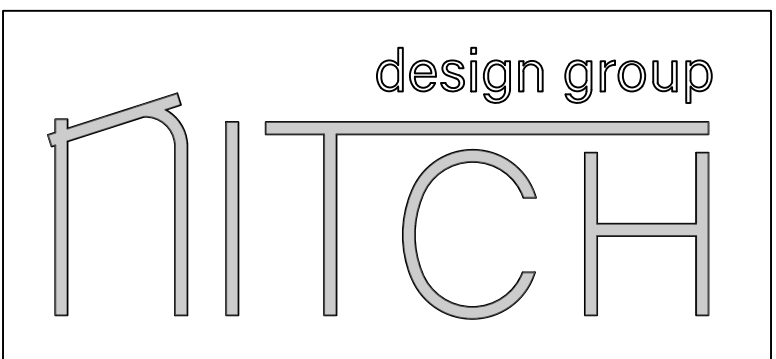
KOSHKERIAN RESIDENCE
1028 N JACKSON ST.
GLENDALE, CA 91207

PLAN CHECK XX.XX.2021

NO.:	DATE:	REVISION:
X		
X		
X		



PRELIMINARY
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SHEET TITLE :

SECTIONS

PROJECT NO. :

PROJECT ADDRESS: 1028 N JACKSON ST.

GLENDALE, CA 91207

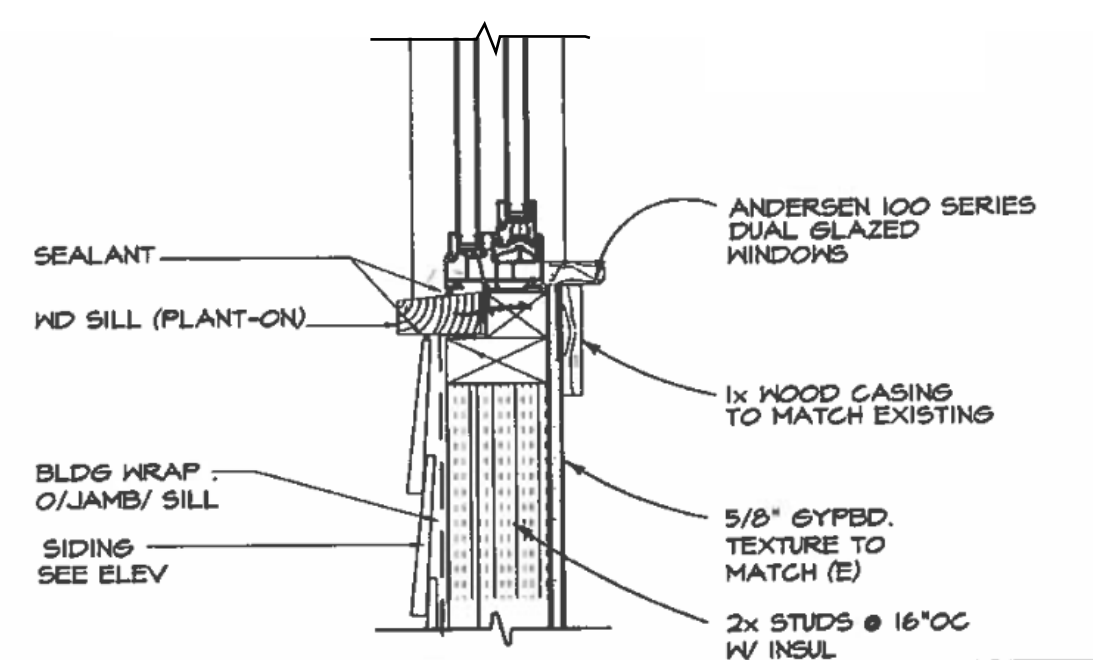
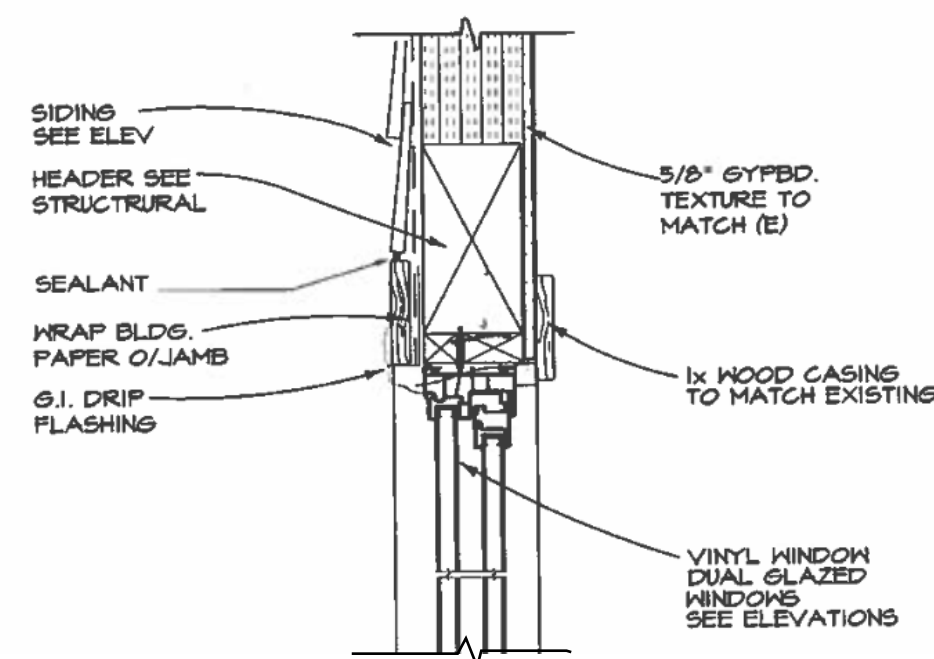
SCALE : AS NOTED

A3.4

KOSHKERIAN RESIDENCE
1028 N JACKSON ST.
GLENDALE, CA 91207

PLAN CHECK XX.XX.2021

NO.: DATE: REVISION:
X
X
X



DOOR MARKER	QUANTITY	EXISTING WIDTH X HEIGHT	NEW WIDTH X HEIGHT	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM THE STREET? Y/N	OPERATION	DESCRIPTION	U-FACTOR	SHCC	REMARKS
1	1	N/A	3'-6" X 7'-0"	N/A	WOOD	Y	SWING DOOR	EXTERIOR	0.3	0.23	FRONT DOOR
2	6	N/A	2'-8" X 6'-8"	N/A	WOOD	N	SWING DOOR	INTERIOR			
3	1	N/A	2'-3" X 6'-8"	N/A	WOOD	N	SWING DOOR	INTERIOR			
4	1	N/A	8'-0" X 6'-8"	N/A	WOOD	N	SLIDING DOORS	INTERIOR			CLOSET DOOR
5	1	N/A	2'-8" X 6'-8"	N/A	WOOD	N	POCKET DOOR	INTERIOR			
6	1	N/A	2'-6" X 6'-8"	N/A	WOOD	N	POCKET DOOR	INTERIOR			
7	1	N/A	2'-6" X 6'-8"	N/A	WOOD	N	SWING DOOR	INTERIOR			
8	1	N/A	12'-0" X 7'-0"	N/A	VINYL	N	SLIDING DOORS	EXTERIOR	0.3	0.23	DOORS INTO BACK YARD
9	1	N/A	5'-0" X 7'-0"	N/A	WOOD	N	SWING DOUBLE DOORS	EXTERIOR	0.3	0.23	DOORS INTO BACK YARD

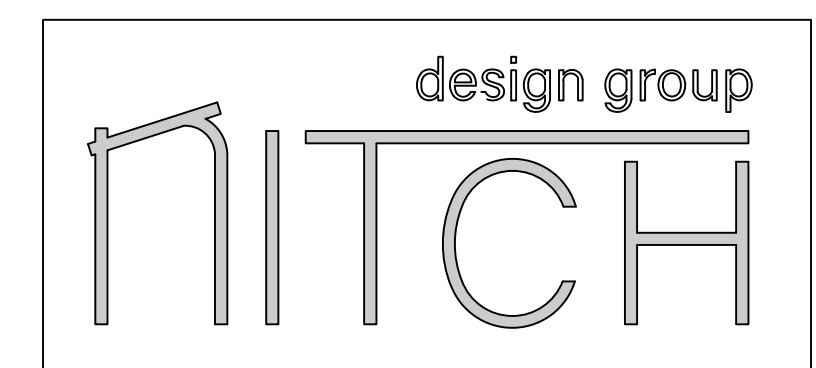
2 DOOR SCHEDULE

WINDOW MARKER	QUANTITY	EXISTING WIDTH X HEIGHT	NEW WIDTH X HEIGHT	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM THE STREET? Y/N	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (SDL) Y/N	KEEP EXISTING SILL & FRAME? Y/N	BUILD NEW SILL & FRAME? Y/N	NEW EDGE DETAIL	BEDROOM? Y/N	ENERGY EFFICIENT? Y/N	TEMPERED GLASS? Y/N	FIRE HAZARD ZONE? Y/N	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR?	U-FACTOR	SHCC	REMARKS
A	1	4'-0" x 3'-0"	1'-6" X 4'-0"	VINYL	VINYL	Y	CASEMENT	CASEMENT	NAIL IN/RECESSED	N	N	Y	WOOD	N	Y	Y	N	N	0.3	0.23	NEW WINDOW
B	1	3'-0" x 2'-8"	4'-0" X 3'-6"	VINYL	VINYL	Y	CASEMENT	CASEMENT	NAIL IN/RECESSED	N	N	Y	WOOD	N	Y	Y	N	N	0.3	0.23	NEW WINDOW
C	1	N/A	8'-0" X 3'-6"	VINYL	VINYL	Y	N/A	FIXED	NAIL IN/RECESSED	N	N	Y	WOOD	N	Y	Y	N	Y	0.3	0.23	NEW WINDOW
D	2	N/A	3'-0" X 4'-0"	VINYL	VINYL	N	N/A	CASEMENT	NAIL IN/RECESSED	N	N	Y	WOOD	Y	Y	Y	N	Y	0.3	0.23	NEW WINDOW
E	2	N/A	4'-0" X 3'-0"	VINYL	VINYL	N	N/A	CASEMENT	NAIL IN/RECESSED	N	N	Y	WOOD	N	Y	Y	N	N	0.3	0.23	NEW WINDOW
F	1	N/A	4'-0" X 4'-0"	VINYL	VINYL	N	N/A	FIXED	NAIL IN/RECESSED	N	N	Y	WOOD	N	Y	Y	N	N	0.3	0.23	NEW WINDOW
G	2	N/A	4'-0" X 4'-0"	VINYL	VINYL	Y	CASEMENT	FIXED	NAIL IN/RECESSED	N	Y	Y	WOOD	N	Y	Y	N	Y	0.3	0.23	NEW WINDOW
H	1	N/A	4'-0" X 4'-0"	VINYL	VINYL	Y	FIXED	FIXED	NAIL IN/RECESSED	N	Y	Y	WOOD	N	Y	Y	N	Y	0.3	0.23	NEW WINDOW
J	3	N/A	4'-0" X 4'-0"	VINYL	VINYL	Y	CASEMENT	CASEMENT	NAIL IN/RECESSED	N	Y	Y	WOOD	N	Y	Y	N	N	0.3	0.23	NEW WINDOW

ALL EMERGENCY EGRESS WINDOWS SHALL HAVE 44" MAX. SILL HEIGHT.

1 WINDOW SCHEDULE

PRELIMINARY NOT FOR CONSTRUCTION



SHEET TITLE :

SCHEDULES

PROJECT NO. :

PROJECT ADDRESS: 1028 N JACKSON ST.

GLENDALE, CA 91207

SCALE : AS NOTED

A6.0

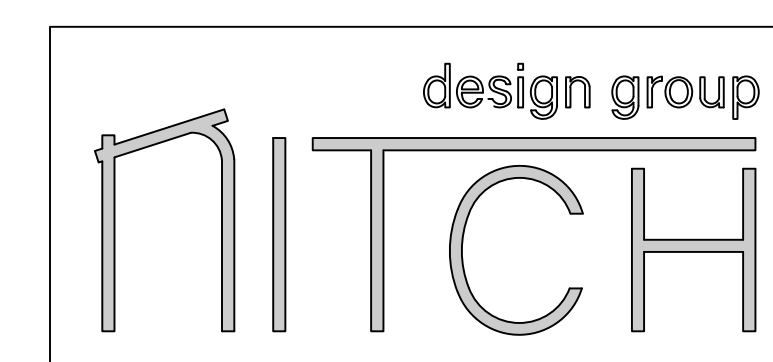
KOSHKERIAN RESIDENCE
1028 N JACKSON ST.
GLENDALE, CA 91207

PLAN CHECK XX.XX.2021

NO.:	DATE:	REVISION:
X		
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X		



PRELIMINARY
NOT FOR CONSTRUCTION



SHEET TITLE :
PROPOSED POVS

PROJECT NO. :

PROJECT ADDRESS: 1028 N JACKSON ST.

GLENDALE, CA 91207

SCALE : AS NOTED

A8.0







1028

