



CITY OF GLENDALE, CALIFORNIA

Community Development
Planning

633 E. Broadway, Suite 103
Glendale, CA 91206-4311
Tel. (818) 548-2140 Fax (818) 240-0392
glendaleca.gov

September 24, 2024

Applicant:

Susanna Sahakian
1721 Idlewood Rd
Glendale, CA 91202

**RE: Administrative Design Review Application Case No. PADR-003469-2024
1363 E Garfield Ave**

The Director of Community Development will render a final decision on or after **October 16, 2024** for the following project:

PROJECT DESCRIPTION:

The applicant proposes to add a 328-square-foot (SF) front addition with a 27-SF front porch to an existing 961-SF single-family dwelling built in 1925 on the 6,560-SF site, which is located in the R-3050 (Moderate Density Residential) Zone. The project includes a new detached accessory dwelling unit, which is not subject to design review.

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

For more information or to submit comments, please contact the case planner, Alan Lamberg, at 818-937-8158 or ALamberg@GlendaleCA.gov.

Comments must be received prior to **October 16, 2024**, to be considered by the Director.

DECISION: A decision letter will be posted online on or after the date listed above and may be accessed online at GlendaleCA.gov/planning/decisions. You may also request notification of the decision when the decision is rendered.

Should you wish to file an appeal of the decision, all appeals must be filed using the City's online permit portal at GlendaleCA.gov/Permits. Create an account. Click "Apply" and "Planning/Zoning." Any appeal must be filed within fifteen (15) days following the actual date of the decision with the prescribed fee prior to the expiration of the 15-day appeal period.

Sincerely,

A handwritten signature in black ink, appearing to read "Alan Lamberg".

Alan Lamberg, AICP
Planner

DRAFT



PENDING
DECISION

CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

October 16, 2024 <i>Decision Date</i>	1363 E Garfield Ave <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5679-030-008 <i>APN</i>
ADR-003469-2024 <i>Case Number</i>	Susanna Sahakian <i>Applicant</i>
Alan Lamberg <i>Case Planner</i>	Serine Karapetyan <i>Owner</i>

Project Summary

The applicant proposes to add a 328-square-foot (SF) front addition with a 27-SF front porch to an existing 961-SF single-family dwelling built in 1925 on the 6,560-SF site, which is located in the R-3050 (Moderate Density Residential) Zone. The project includes a new detached accessory dwelling unit, which is not subject to design review.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301(e)(1) of the State CEQA Guidelines because the proposed additions will not result in an increase the floor area by more than 2,500 square feet. Additionally, the property does not appear eligible for historic designation at the federal, state, or local level and is therefore not considered a historic resource under CEQA.

Existing Property/Background

The project site is parallelogram-shaped 6,560-SF interior lot that was originally developed in 1925 with a one-story, single-family residence and a detached garage. The garage is accessed from the street. The lot features a gentle slope, and the Somerset neighborhood consists of mainly one-story single-family residences of various architectural styles, and some multifamily residences.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI FAR District: I

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

No active or pending permits are associated with this project site.

Site Slope and Grading

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

Neighborhood Survey

19 single-family dwellings	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	6,746 SF	2,800 to 10,020 SF	6,560 SF
Setback	21 FT	5 to 32 FT	25 FT
House size	2,228 SF	788 to 8,498 SF	1,303 SF
Floor Area Ratio	0.31	0.08 to 0.93	0.20
Number of stories	1-story buildings (21) 2-story buildings (4) 3-story buildings (2)		1-story building

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

Garage Location and Driveway

yes **n/a** **no**

If “no” select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Based on the site plan, it’s unclear if there are any indigenous protected trees on or within 20’ of the property, as the plan notes their absence but doesn’t specify tree species. Protection of indigenous trees is provided for in GMC Chapter 12.44. Site plan does not indicate existing city-owned street tree, nor does it propose an additional street tree. Protection and provision of city-owned trees is provided for in GMC Chapter 12.40. Glendale Department of Public Works Forestry Section Urban Forester provided conditions of approval.

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed addition to the front of house is appropriately placed on the lot and has a compact footprint, presenting minimal impact on the existing neighborhood.
- New separation of the private walkway with 24-inch-wide landscaping between it and the 8’-6” driveway conforms with driveway standards for a single-family residence.
- Vehicular access at the driveway leads mid-lot parking, which is in keeping with the predominant neighborhood pattern and minimizing massing at the street level.
- Existing concrete block fence wall to remain.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If "no" select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The neighborhood pattern features mainly single-story single-family houses of various architectural styles, with some duplex and two-and-three-story multifamily buildings. The proposed project remains one-story and minimizes mass and scale.
- While the front addition slightly increases massing at street level, it otherwise conforms to street-front and interior setbacks and does not significantly increase height.
- The massing of the house is broken up using architectural devices including varying gabled rooflines, projecting volumes, and changes in facade planes.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If "no" select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes **n/a** **no**

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

As proposed, two light fixtures will result in an over-lit street-facing facade. The exterior lighting shall be limited to their location to the main entry, egress door, and vehicle entrance. A condition is included to plan only one light fixture on the street-facing south facade, and another light fixture may locate on the west facade either on or under the covered patio.

A condition is included to show on the new addition any downspouts to match the adjacent wall color and finish, and any vents and/or utility connections to be integrated with design while avoiding primary facades.

Ancillary Structures

yes n/a no

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

The shed-roof covered patio appears to be unpermitted. Any unpermitted structure must be brought up to current building and safety codes and indicated as a new structure on the proposed site plan. As a condition of approval, this feature must either be removed or a permit shall be obtained and approved.

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The design and detailing are consistent with Spanish Colonial Revival architectural style, featuring stucco walls with low-pitched gable roof covered in red clay tiles, materials in keeping with the neighborhood’s architectural styles.
- On the street-facing facade, a flush-framed sliding window will change to a recessed-with-sill-framed casement-and-fixed window appropriate to the house’s traditional style.
- The entryway is modest, and the front addition has no privacy concerns for neighboring properties.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

Conditions

1. The following responsible agencies provided comments with conditions. Amend plans accordingly prior to plan check submittal:
 - Glendale Department of Community Development, Building & Safety Division
 - Glendale Water & Power
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2. A revision to the elevations of the new addition shall be submitted to staff for review and approval prior to plan check submittal:
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3. Permit or remove the rear shed-roof covered patio; currently, it appears to be unpermitted. Any unpermitted structure must be brought up to current building and safety codes and indicated as a new structure on the proposed site plan.

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. Requested Comments from Responsible Agencies

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**PROPOSED 328 S.F. ADDITION TO THE FRONT OF THE EXISTING
1- STORY SINGLE FAMILY DWELLING+ NEW 622 S.F. TWO CAR GARAGE,
AND INTERIOR REMODELING
1363 E. GARFIELD AVE. GLENDALE, CA. 91205**

LEGAL DESCRIPTION:

PROPERTY ADDRESS: 1363 E. GARFIELD AVE.
GLENDALE, CA. 91205
APN: 5679-030-0008
ZONE: R3050
LOT AREA: 6,560 S.F.
TRACT NO: 4644
LOT #: 5
LOT SIZE: 52.40'x131.22'
(E) BUILDING HEIGHT: 15'-6" (NO CHANGE)
CONSTRUCTION TYPE: V-B

PROPERTY DESCRIPTION:

(E) COVERED DECK AREA: 146 S.F.
(E) FRONT PORCH AREA: 52 S.F.
(E) BUILDING FLOOR AREA: 975 S.F.
(E) BUILDING TOTAL AREA: 1,173 S.F.

(E) BUILDING HEIGHT: 15'-9"
PROPOSED BUILDING HEIGHT: 16'-4"
EXISTING PORTABLE STORAGE AREA: (TO BE REMOVED) 128 S.F.
PROPOSED ADDITION'S FLOOR AREA: 328 S.F.
PROPOSED BUILDING'S TOTAL FLOOR AREA: (1,173+328) = 1,501 S.F.

MAXIMUM FAR ALLOWED: 6,560 x 0.65= 4,264 S.F.
PROPOSED FAR: 1,506.0 S.F. < 4,264 S.F.

MAX. LOT COVERAGE ALLOWED: 50% x 6,560 x 0.5 = 3,280 S.F.

PROPOSED BUILDINGS FOOTPRINT AREA:
(E) BUILD. + PROP. ADDITION + PROP. FRONT PORCH + (E) COVERED DECK + NEW 2 CAR GARAGE
1,173 + 328 + 27 + 145 + 622 = 2,295 S.F.
PROPOSED LOT COVERAGE = 2,295.0 S.F. < 3,280 S.F.

LANDSCAPE AREA CALCULATION:

MINIMUM LANDSCAPE COVERAGE ALLOWED: 30% = 1,968 S.F.
PROPOSED LANDSCAPE COVERAGE:
FRONT YARD LAWN + BACK YARD LAWN + (E) SIDE YARDS LAWN
(860+40)=900 1,050 (276+400)=704 = 2,650 S.F. = 40.4%
PROPOSED LANDSCAPE COVERAGE: = 2,650 S.F. > 1,968 S.F.

SCOPE OF WORK:

- 328 S.F. ADDITION TO EXISTING BUILDING (one bedroom, one bathroom, laundry room)
- REPLACING EXISTING PORTABLE STORAGE WITH NEW 622 S.F. TWO CAR GARAGE

SHEET INDEX:

- A-1 EXISTING AND PROPOSED PLOT PLANS
- A-1a PROP. SITE PLAN WITH NEIGHBORING PROPERTIES
- A-2 EXISTING AND PROPOSED ROOF PLANS
- A-3 EXISTING AND PROPOSED ROOF PLANS
- A-3a DEMO. WALLS AND ROOF PERCENTAGE CALC.
- A-4 EXISTING AND PROPOSED ELEVATIONS
- A-5 SECTIONS; DOOR/WINDOW SCHEDULE
- A-5a EXISTING BUILD. PHOTOS
- A-6 PROPOSED GARAGE FLOOR AND ROOF PLAN
- A-6a PROPOSED GARAGE ELEVATIONS AND SECTIONS
- A-7 DETAILS
- A-8 ROOF NOTES

OWNER:
SERINE KARAPETYAN
1363 E. GARFIELD AVE.
GLENDALE, CA 91205
(818) 461-4475

CONSULTANT:
SUSANNA SAHAKIAN
313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
E-MAIL: susansahak@yahoo.com
TEL: (818) 512-7380

PROJECT:
PROPOSED 328 S.F. ADDITION TO (E) 1-STORY S.F.D.
ADDRESS:
1363 E. GARFIELD AVE., GLENDALE CA, 91202

JOB NO: ***

SHEET TITLE
EXISTING AND PROPOSED PLOT PLAN

NOT FOR CONST.
ISSUED FOR PERMIT
ISSUED FOR CONST.

SCALE: 1/8"=1'-0" U.N.O.

SHEET NO.

A-1

STRUCTURAL ENGINEER: ARMEN MARTIROSSYAN (818) 434-1708
ENERGY CALCULATIONS: PERFECT DESIGN & INVESTMENT 2416 W. VALLEY BLVD. ALHAMBRA, CA. 91803 (626) 289-8808

NOTES:

1. APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN ONE (1) YEAR FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R105.3.2 CRC)
2. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN ONE (1) YEAR OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF (1) YEAR. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN (1) YEAR. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL.
3. FIRE SPRINKLER PLANS STAMPED APPROVED BY THE CITY OF GLENDALE'S FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT TIME OF FRAMING INSPECTION.
4. WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.6 GALLONS OF WATER PER FLUSH AFTER JULY 1, 2011. (401.3 CPC)
5. URINALS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.0 GALLONS OF WATER PER FLUSH, 0.5 GALLONS PER FLUSH AFTER JULY 1, 2011. (401.3 CPC)
6. SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 2.5 GALLONS PER MINUTE. (401.3 CPC)
7. FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 2.2 GALLONS PER MINUTE. (401.3 CPC)
8. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIC IN SEC. 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE. (401.3 CPC)

1. THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THE LOT OR WITHIN 20 FEET OF SITE.
- 1a. ALL EXISTING TREES ARE SMALL FRUIT TREES.
2. RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES AND PATIO COVERED REQUIRE SEPARATE PERMIT.
3. NO NEW ROOFTOP EQUIPMENT ALLOWED.
4. EXIST. WIDOWS: C, D, E, F (see A-1) NOT SEEN FROM THE STREET

GLENDALE FIRE DEPARTMENT NOTES:

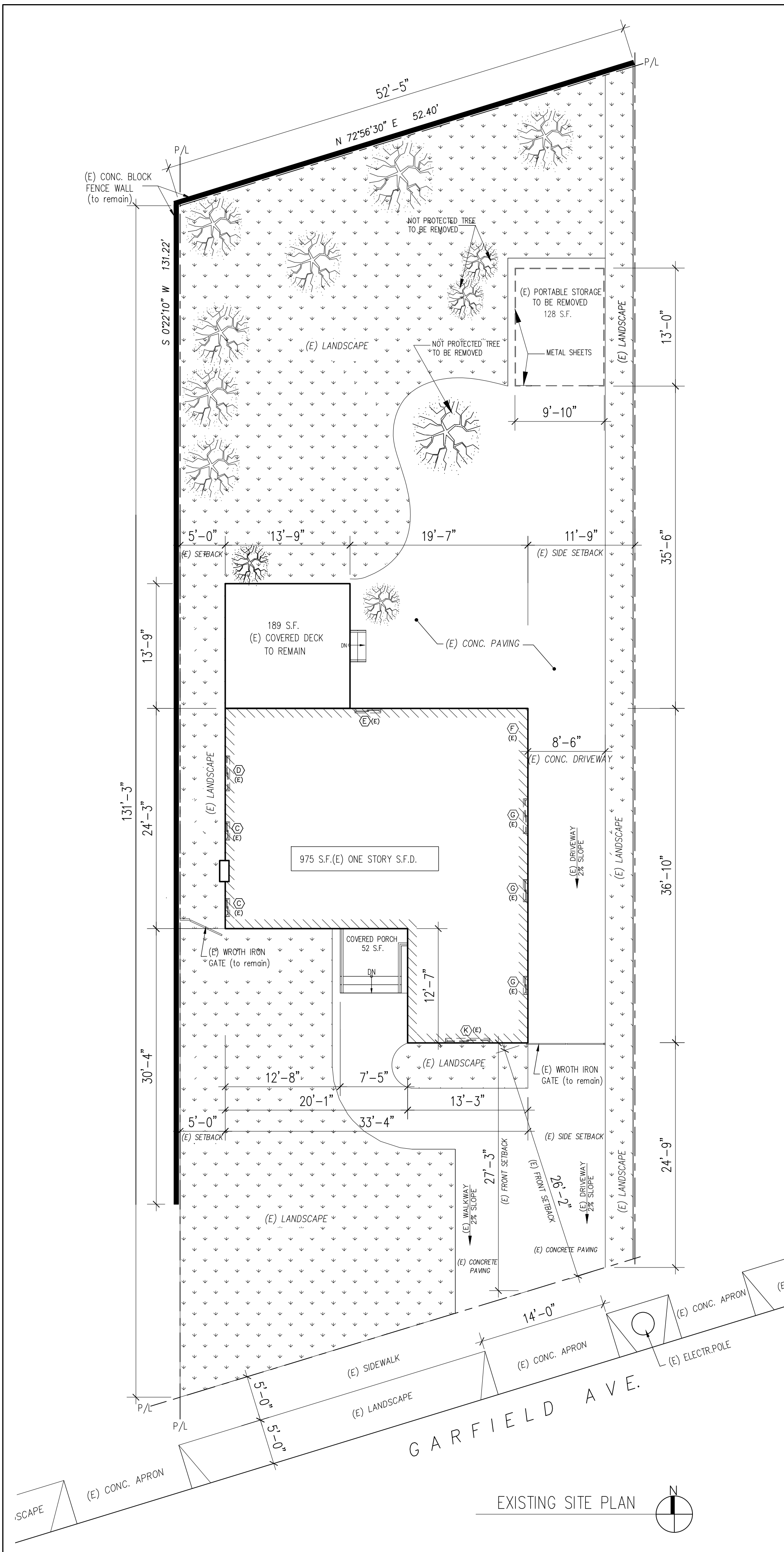
ADDRESS NUMBERS: Approved address numbers, building numbers or approved building identification shall be placed in a position that is plainly legible from the street, road, alley, and walkways giving access to and within the property. These numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabet letters. Numbers shall be a minimum of 4 inches (102 mm) high with a minimum stroke width of 0.5 inch (12.7mm) and shall be illuminated in an approved manner (if numbers are on the exterior). Number height and stroke width shall be increased as needed for legibility based on visibility distance.

FIRE SPRINKLERS: Provide a complete automatic fire sprinkler system throughout the structure installed in accordance with the recommendations of NFPA 13D and the requirements of the Glendale Fire Department. Fire sprinkle plans shall be submitted within 30 days of issuance of the building permit.

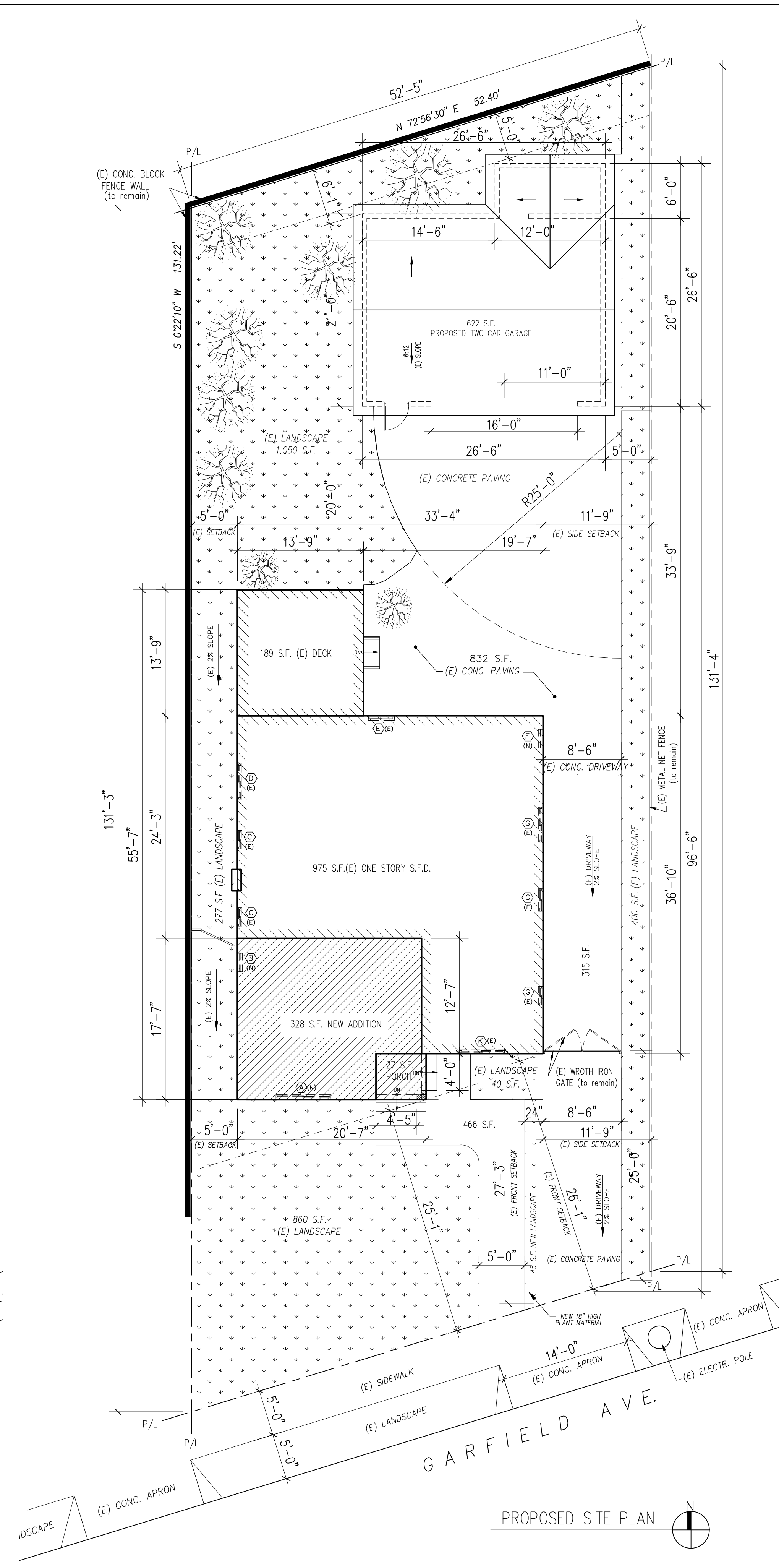
ADDITION/REMOVAL UNDER 50 % VALUATION: Fire sprinklers are not required or the based on the percentage valuation of the remodel/addition calculated at % No additional scope of work permitted without re-evaluation by the Building and Safety. The valuation is cumulative years; any future work, such as re-roofing, kitchen, remodeling, etc., are counted to the current valuation percentage.

SMOKE DETECTORS: Smoke detectors shall be wired to the building electrical system, be equipped with battery backup, and emit a signal when batteries are low. Smoke alarms shall be interconnected, so that the activation of one alarm will activate all other alarms.

CARBON MONOXIDE DETECTORS: shall be installed outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. Alarms shall be hardwired from the building power supply and equipped with battery backup. Detectors shall meet U.L. 2034 and/or NFPA 720 standards. 2013 California Residential Code Chapter 3 Sec. R315.



EXISTING SITE PLAN



PROPOSED SITE PLAN

**PROPOSED 328 S.F. ADDITION TO THE FRONT OF THE EXISTING
1- STORY SINGLE FAMILY DWELLING AND INTERIOR REMODELING
+ PROPOSED 675.5 S.F. A.D.U. (UNDER SEPARATE PERMIT)
1363 E. GARFIELD AVE. GLENDALE, CA. 91205**

LEGAL DESCRIPTION:

PROPERTY ADDRESS: 1363 E. GARFIELD AVE.
GLENDALE, CA. 91205
APN: 5679-030-0008
ZONE: R3050
LOT AREA: 6,560 S.F.
TRACT NO: 4644
LOT #: 5
LOT SIZE: 52.40'x131.22'
(E) BUILDING HEIGHT: 15'-6" (NO CHANGE)
CONSTRUCTION TYPE: V-B

PROPERTY DESCRIPTION:

(E) COVERED DECK AREA:	146 S.F.
(E) FRONT PORCH AREA:	52 S.F.
(E) BUILDING FLOOR AREA:	975 S.F.
(E) BUILDING TOTAL AREA:	1,173 S.F.

(E) BUILDING HEIGHT:	15'-9"
PROPOSED BUILDING HEIGHT:	16'-4"

EXISTING PORTABLE STORAGE AREA: (TO BE REMOVED)	128 S.F.
PROPOSED ADDITION'S FLOOR AREA:	328 S.F.
PROPOSED BUILDING'S TOTAL FLOOR AREA:	(1,173+328) = 1,501 S.F.

MAXIMUM FAR ALLOWED: 6,560 x 0.65 = 4,264 S.F.
PROPOSED FAR: 1,506.0 S.F. < 4,264 S.F.

MAX. LOT COVERAGE ALLOWED: 50% = 6,560 x 0.5 = 3,280 S.F.

PROPOSED BUILDINGS FOOTPRINT AREA:
(E) BUILD. + PROP. ADDITION + PROP. FRONT PORCH + (E) COVERED DECK + PROP. A.D.U.
1,173 + 328 + 27 + 145 + 676 = 2,349 S.F.
PROPOSED LOT COVERAGE = 2,349.0 S.F. < 3,280 S.F.

LANDSCAPE AREA CALCULATION:

MINIMUM LANDSCAPE COVERAGE ALLOWED: 30% = 1,968 S.F.
PROPOSED LANDSCAPE COVERAGE:
FRONT YARD LAWN + BACK YARD LAWN + (E) SIDE YARDS LAWN
(860+40)=900 1,050 (276+400)=704 = **2,650 S.F. = 40.4%**
PROPOSED LANDSCAPE COVERAGE: = **2,650 S.F.** > 1,968 S.F.

SCOPE OF WORK:

- 328 S.F. ADDITION TO EXISTING BUILDING (one bedroom, one bathroom, laundry room)
- REPLACING EXISTING PORTABLE STORAGE WITH NEW 622 S.F. TWO-CAR GARAGE

SHEET INDEX:

- A-1 EXISTING AND PROPOSED PLOT PLANS
- A-1a PROP. SITE PLAN WITH NEIGHBORING PROPERTIES
- A-2 EXISTING AND PROPOSED FLOOR PLANS
- A-3 EXISTING AND PROPOSED ROOF PLANS
- A-3a DEMO, WALLS AND ROOF PERCENTAGE CALC.
- A-4 EXISTING AND PROPOSED ELEVATIONS
- A-5 SECTIONS; DOOR/WINDOW SCHEDULE
- A-5a EXISTING BUILD. PHOTOS
- A-6 PROPOSED GARAGE FLOOR AND ROOF PLAN
- A-6a PROPOSED GARAGE ELEVATIONS AND SECTIONS
- A-7 DETAILS
- A-8 ROOF NOTES

NOTES:

1. APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN ONE (1) YEAR FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R105.3.2 CRC)
2. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN ONE (1) YEAR OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF (1) YEAR. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN (1) YEAR. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL.
3. FIRE SPRINKLER PLANS STAMPED APPROVED BY THE CITY OF GLENDALE'S FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT TIME OF FRAMING INSPECTION.
4. WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.6 GALLONS OF WATER PER FLUSH AFTER JULY 1, 2011. (401.3 CPC)
5. URINALS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.0 GALLONS OF WATER PER FLUSH, 0.5 GALLONS PER FLUSH AFTER JULY 1, 2011. (401.3 CPC)
6. SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 2.5 GALLONS PER MINUTE. (401.3 CPC)
7. FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 2.2 GALLONS PER MINUTE. (401.3 CPC)
8. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURER'S RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIC IN SEC. 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE. (401.3 CPC)

1. THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THE LOT OR WITHIN 20 FEET OF SITE.
- 1a. ALL EXISTING TREES ARE SMALL FRUIT TREES.
2. RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES AND PATIO COVERED REQUIRE SEPARATE PERMIT.
3. NO NEW ROOFTOP EQUIPMENT ALLOWED.
4. EXIST. WIDOWS: C, D, E, F (see A-1) NOT SEEN FROM THE STREET

GLENDALE FIRE DEPARTMENT NOTES:

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CARBON MONOXIDE DETECTORS: shall be installed outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. Alarms shall be hardwired from the building power supply and equipped with battery backup. Detectors shall meet U.L. 2034 and/or NFPA 720 standards. 2013 California Residential Code Chapter 3 Sec. R315.

STRUCTURAL ENGINEER ARMEN MARTIROSSYAN (818) 434-1708	ENERGY CALCULATIONS PERFECT DESIGN & INVESTMENT 2416 W. VALLEY BLVD. ALHAMBRA, CA. 91803 (626) 289-8808
--	--

NOT FOR CONST.
ISSUED FOR PERMIT
ISSUED FOR CONST.

SCALE: 1/8"=1'-0" U.N.O.

SHEET NO.

A-1

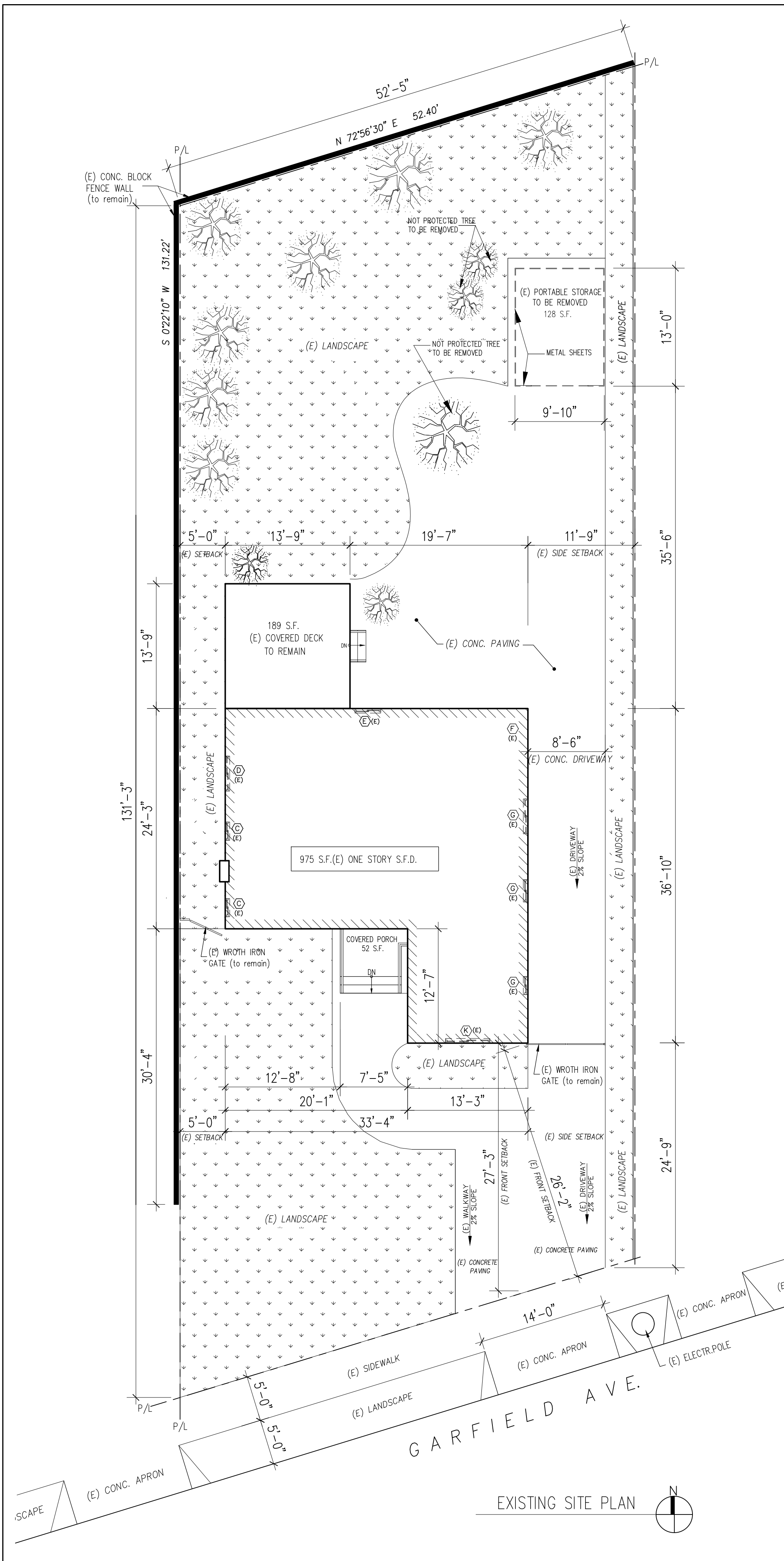
OWNER:
SERINE KARAPETYAN
1363 E. GARFIELD AVE.
GLENDALE, CA 91205
(818) 461-4475

CONSULTING ENGINEER:
SUSANNA SAHAKIAN
313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
E-MAIL: susansahak@yahoo.com
TEL: (818) 512-7380

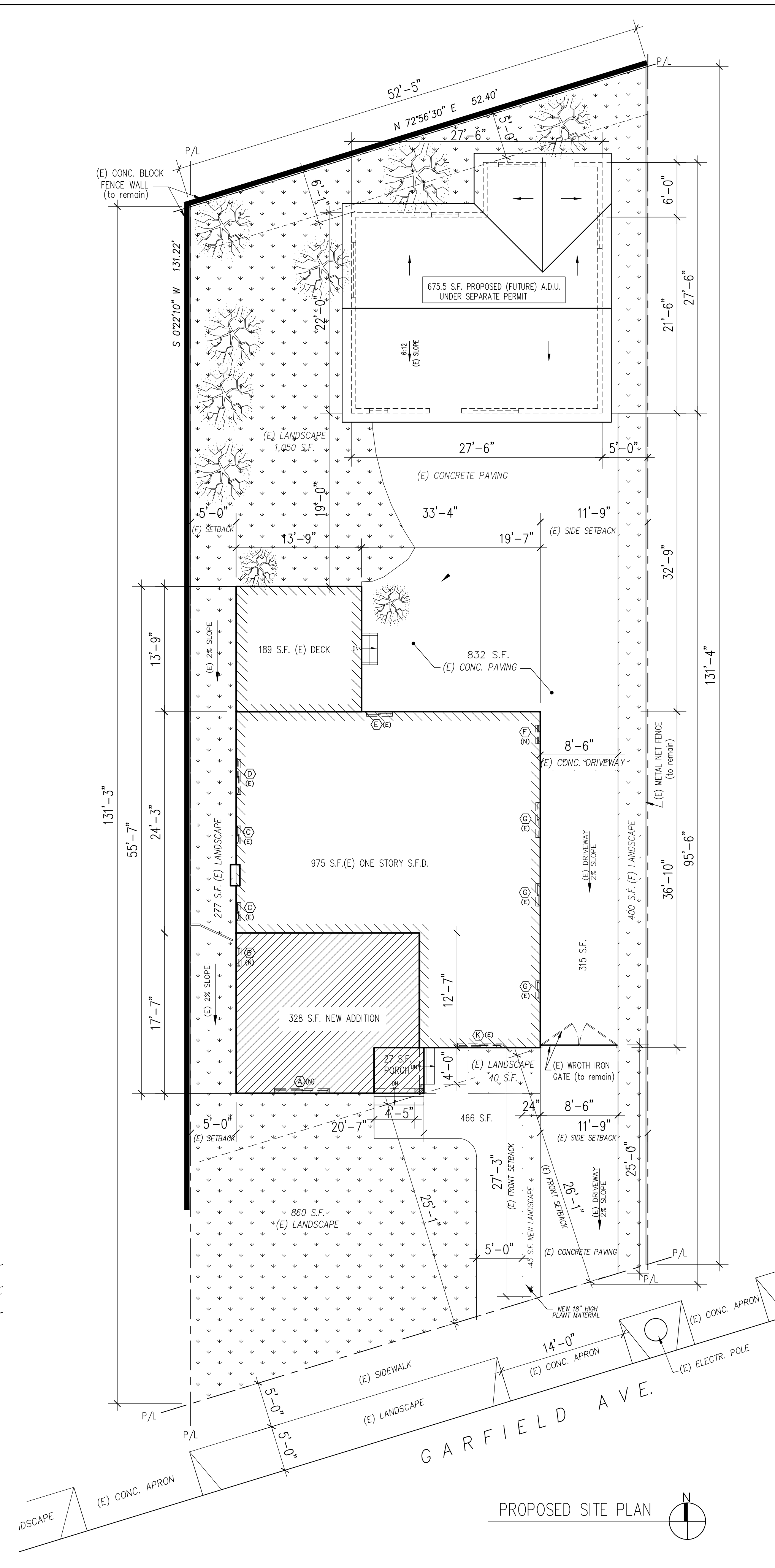
PROJECT:
PROPOSED 328 S.F. ADDITION TO (E) 1-STORY S.F.D.
ADDRESS:
1363 E. GARFIELD AVE., GLENDALE CA, 91202

JOB NO: ** ** *

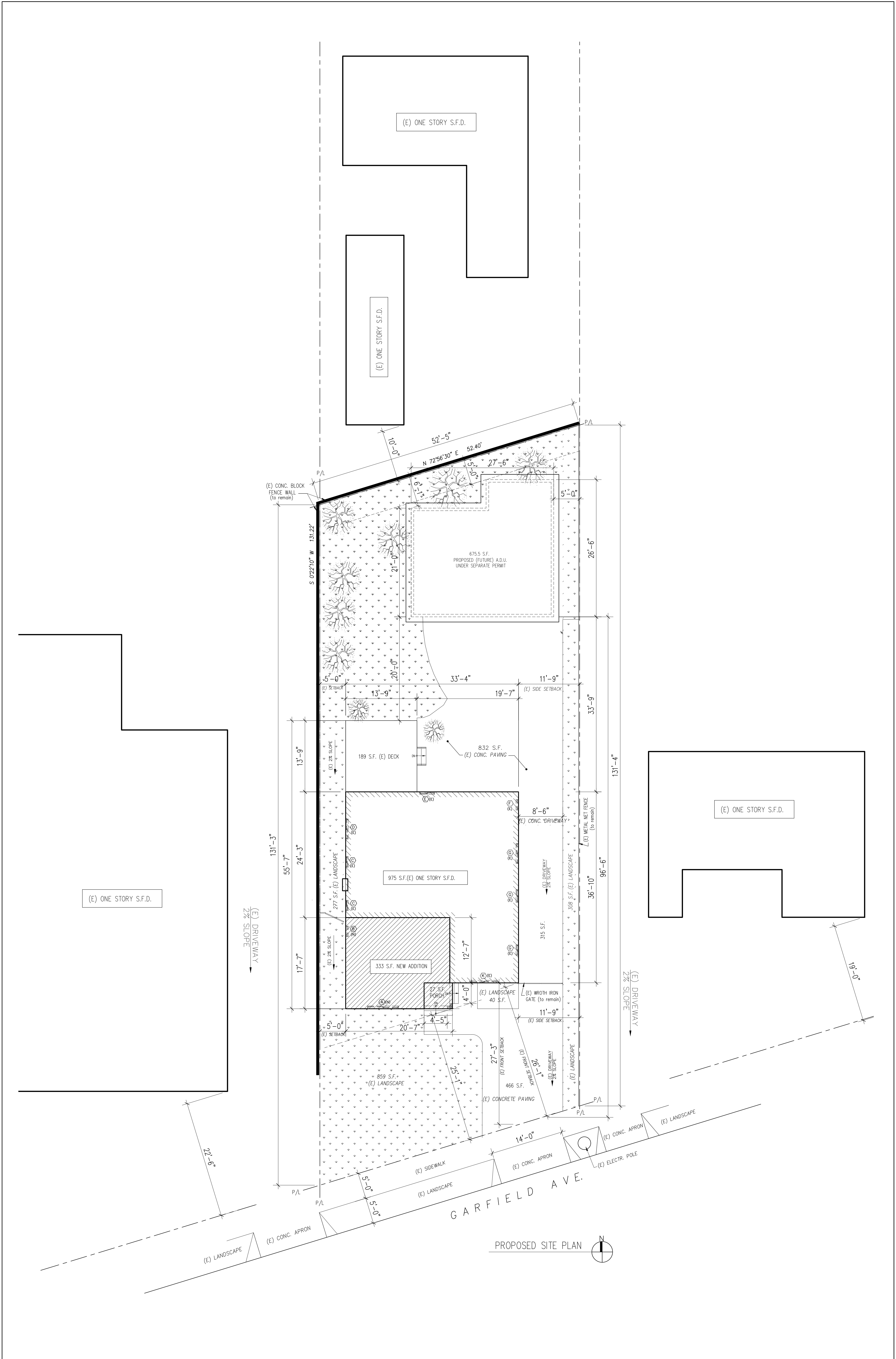
SHEET TITLE
EXISTING AND PROPOSED PLOT PLAN



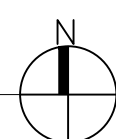
EXISTING SITE PLAN



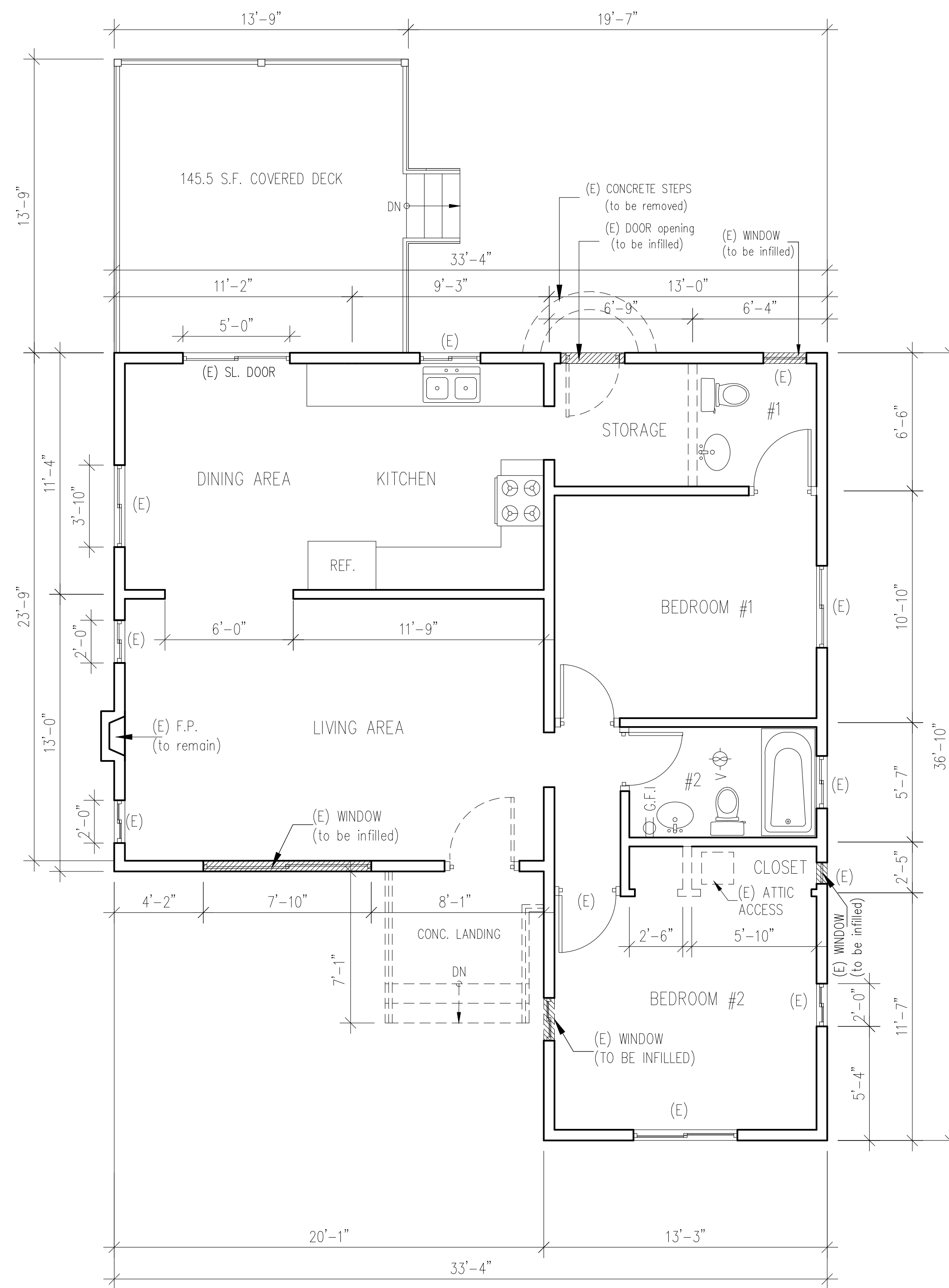
PROPOSED SITE PLAN



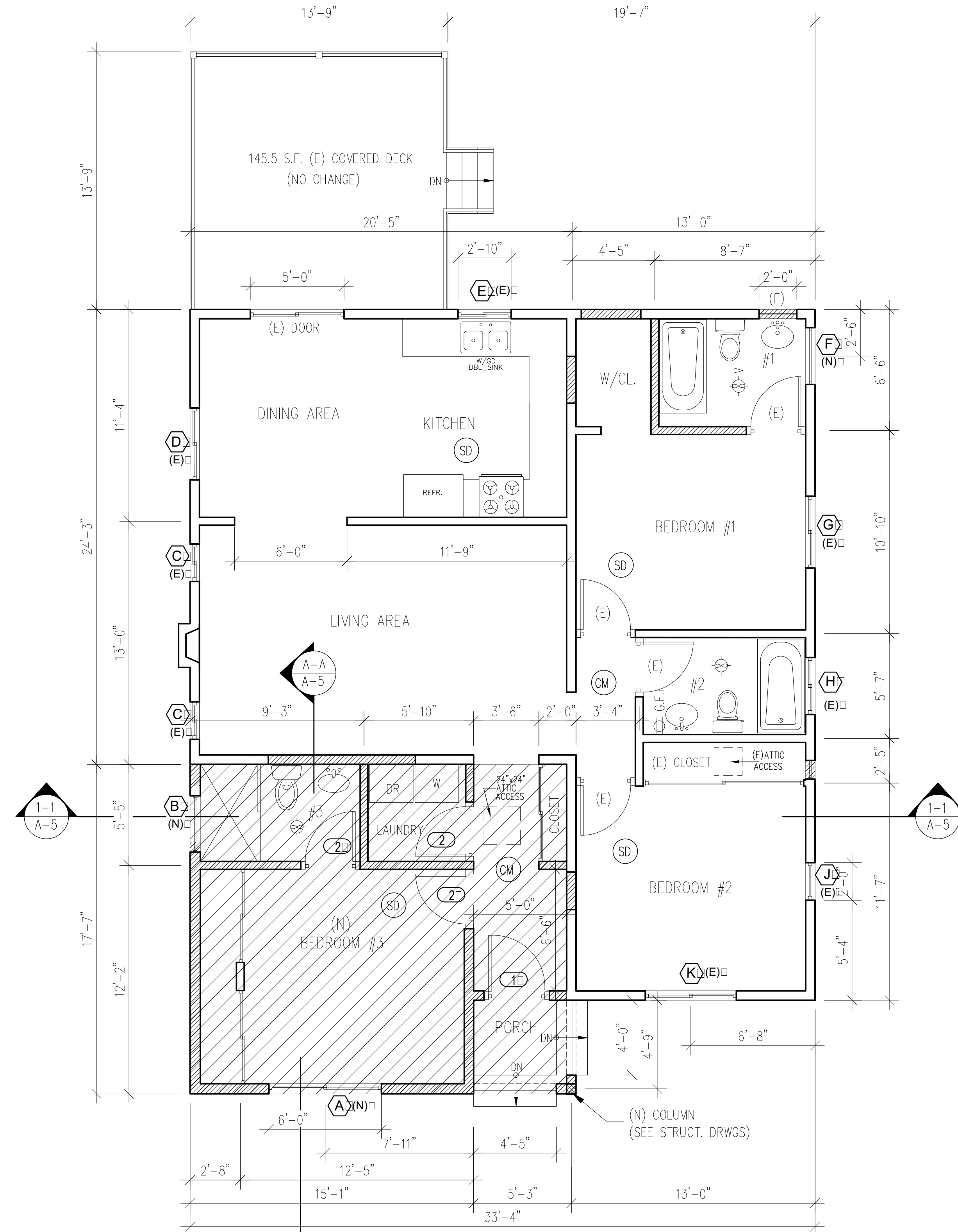
PROPOSED SITE PLAN



<p>A-1a</p>	<p>SHEET NO.</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>NOT FOR CONSTRUCTION ISSUED FOR PERMIT ISSUED FOR CONSTRUCTION</p>	<p>EXISTING/PROPOSED SITE PLAN & NEIGHBORING S.F.D.</p>	<p>JOB NO.: ***-***-***</p>	<p>PROJECT: PROPOSED 328 S.F. ADDITION TO (E) 1-STORY S.F.D.</p>	<p>OWNER: SUSANNA SAHAKIAN</p>
					<p>SHEET TITLE</p>	<p>ADDRESS: 1363 E. GARFIELD AVE. GLENDALE CA, 91202</p>	<p>ADDRESS: 313 E. GLENDALE BLVD. #B, GLENDALE, CA, 91207 E-MAIL: susanshak@yahoo.com TEL: (818) 512-7380</p>



EXISTING FLOOR PLAN



PROPOSED FLOOR PLAN

NOTES:

- (ALL (N) EXTERIOR WALLS HAVE: R-13 INSUL. PER ENERGY CALCS.)
- BEDROOM EGRESS WINDOWS SHALL HAVE A MINIMUM AREA OF 5.7 SF. MINIMUM NET HEIGHT: 24" AND MINIMUM NET WIDTH: 20". SILL HEIGHT SHALL BE 44" MAXIMUM ABOVE FINISH FLOOR WINDOW AREA OF 1/10 OF THE FLOOR AREA WITH 50% OF WINDOW AREA OPENABLE.
- EXISTING #1, #2, #3 WINDOWS ARE NOT SEEN FROM THE STREET.
- ALL EXISTING WINDOWS REPLACED WITH NEW (NO CHANGE IN WINDOWS)

LEGEND:

- EXHAUST FAN W/ LIGHT
- SMOKE DETECTOR
- CARBON MONOXIDE ALARMS
- NEW WALLS
- EXIST. WALLS TO REMAIN
- EXIST. WALLS TO BE REMOVED
- NEW ADDITION

ELECTRICAL NOTES:

- BRANCH CIRCUITS SUPPLYING UTILIZATION EQUIPMENT IN LOCATIONS SPECIFIED PER 210.12 CEC SHALL BE AFCI PROTECTED.
- ALL NEW RECEPTACLES SHALL COMPLY TO TAMPER-RESISTANT RECEPTACLES PER 406.12 & 210.52 CEC.
- ALL NEW EXTERIOR WALLS WITH R-13 INSUL. (PER ENERGY CALCS.)

PROJECT: PROPOSED 328 S.F. ADDITION TO (E) 1-STORY S.F.D.
 ADDRESS: 1363 E. GARFIELD AVE., GLENDALE, CA, 91202

JOB NO: ***

SHEET TITLE
 EXISTING AND PROPOSED FLOOR PLANS

NOT FOR CONST.
 ISSUED FOR PERMIT
 ISSUED FOR CONST.

SCALE: 1/4"=1'-0"

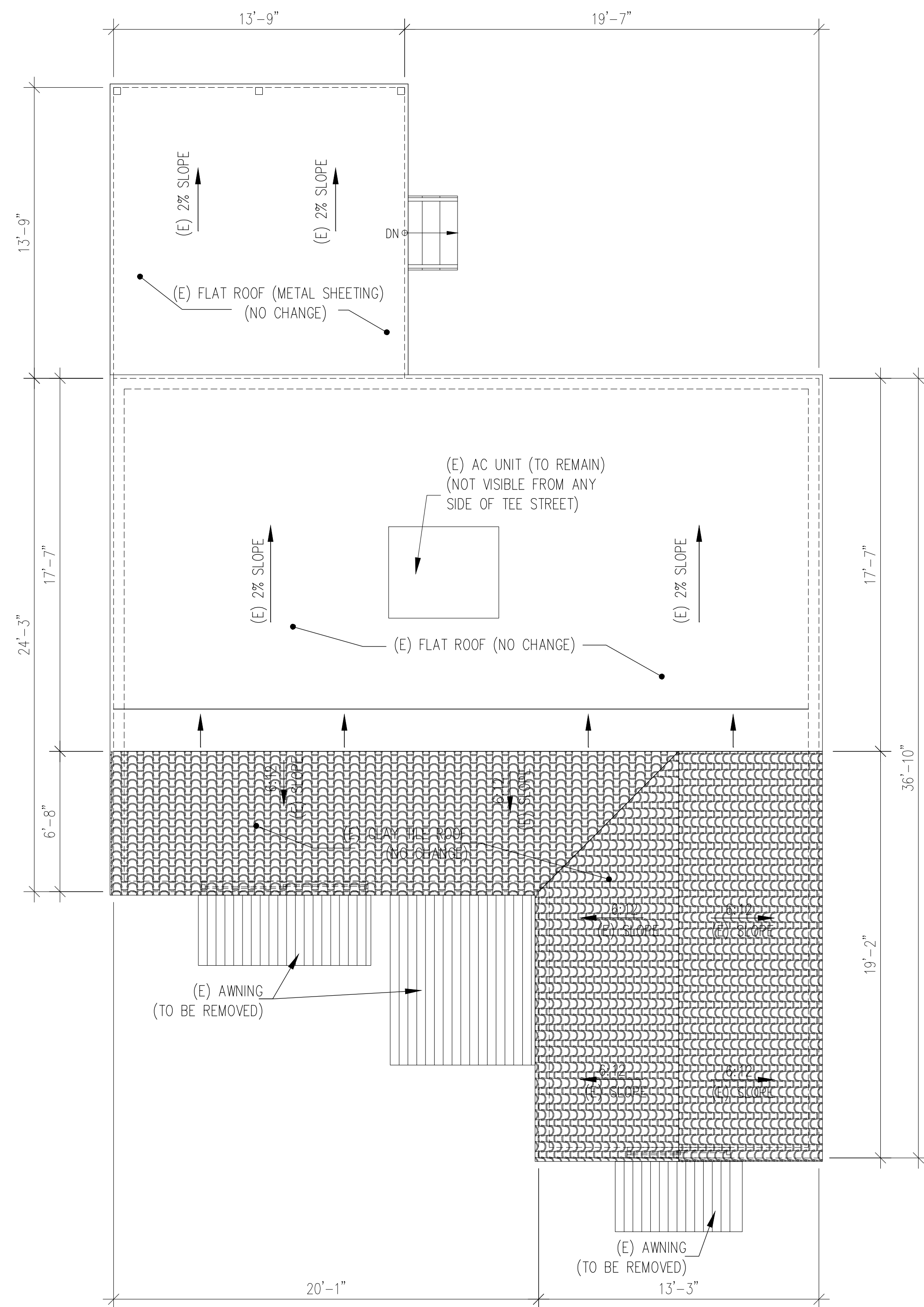
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A-2

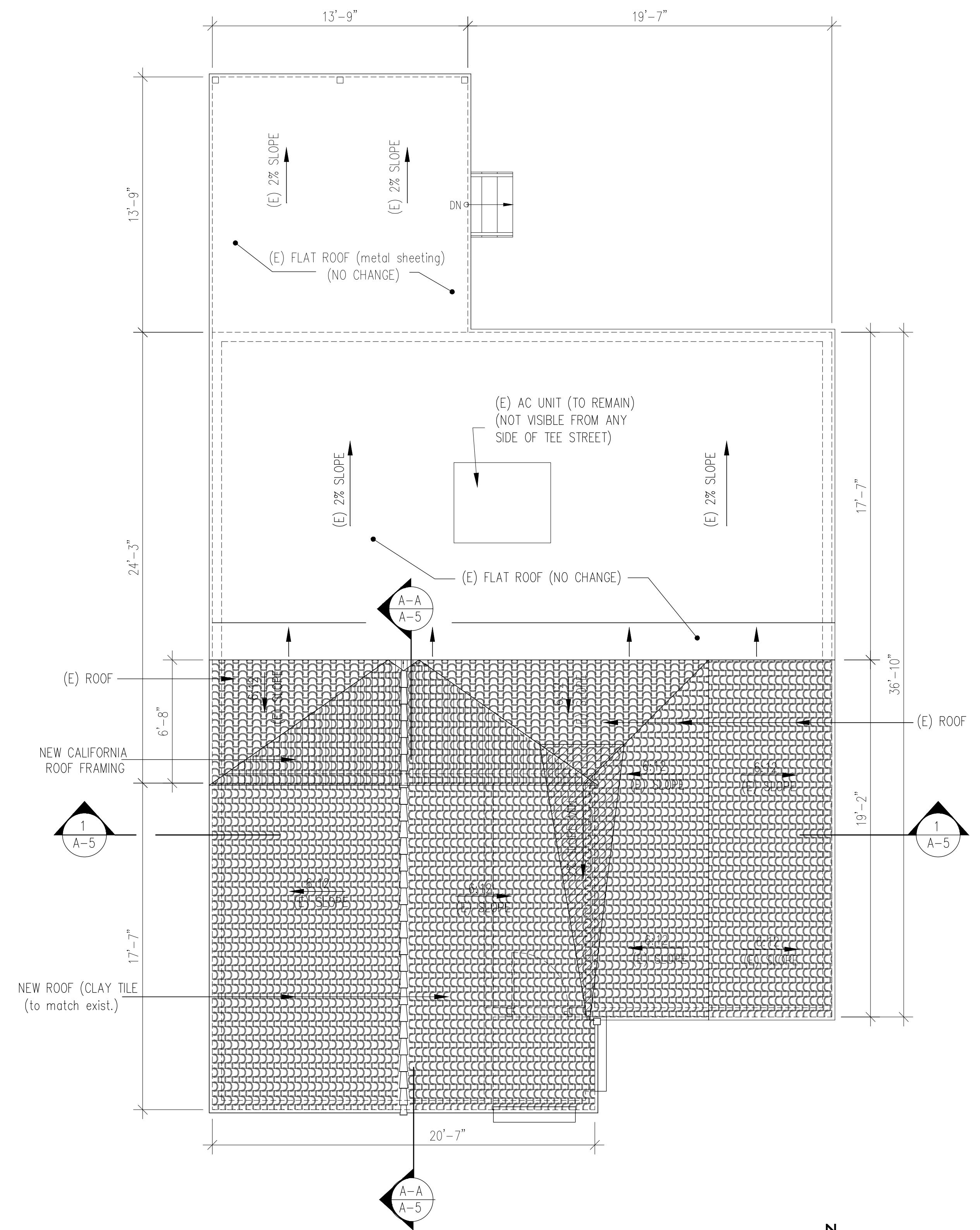
OWNER: SERINE KARAPETYAN
 1363 E. GARFIELD AVE.
 GLENDALE, CA 91205
 (818) 461-4475

ADDRESS:

CONSULTANT: SUSANNA SAHAKIAN
 313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
 E-MAIL: susannah@yahoo.com
 TEL: (818) 512-7380



EXISTING ROOF PLAN



PROPOSED ROOF PLAN

GREEN NOTES:

- RADIANT ROOF BARRIERS**
RADIANT ROOF BARRIERS SHALL BE INSTALLED IN CONCEALED CONSTRUCTION SPACES LOCATED BETWEEN THE BUILDING ROOF SHEATHING AND A PERMANENTLY INSTALLED CEILING IN ALL NEW BUILDINGS. THE RADIANT BARRIER MUST BE TESTED ACCORDING TO ASTM C-1371-98 OR ASTM E 408-71(2002) AND MUST BE CERTIFIED BY THE DEPARTMENT OF CONSUMER AFFAIRS. RADIANT BARRIER MUST ALSO MEET THE INSTALLATION CRITERIA SPECIFIED IN THE SECTION RA4.2.2 OF THE CALIFORNIA ENERGY COMMISSION RESIDENTIAL APPENDICES.

PROJECT:
PROPOSED 328 S.F. ADDITION TO (E) 1-STORY S.F.D.
ADDRESS:
1363 E. GARFIELD AVE.
GLENDALE, CA, 91202

JOB NO: ***

SHEET TITLE
EXISTING AND PROPOSED ROOF PLANS

NOT FOR CONST.
ISSUED FOR PERMIT
ISSUED FOR CONST.

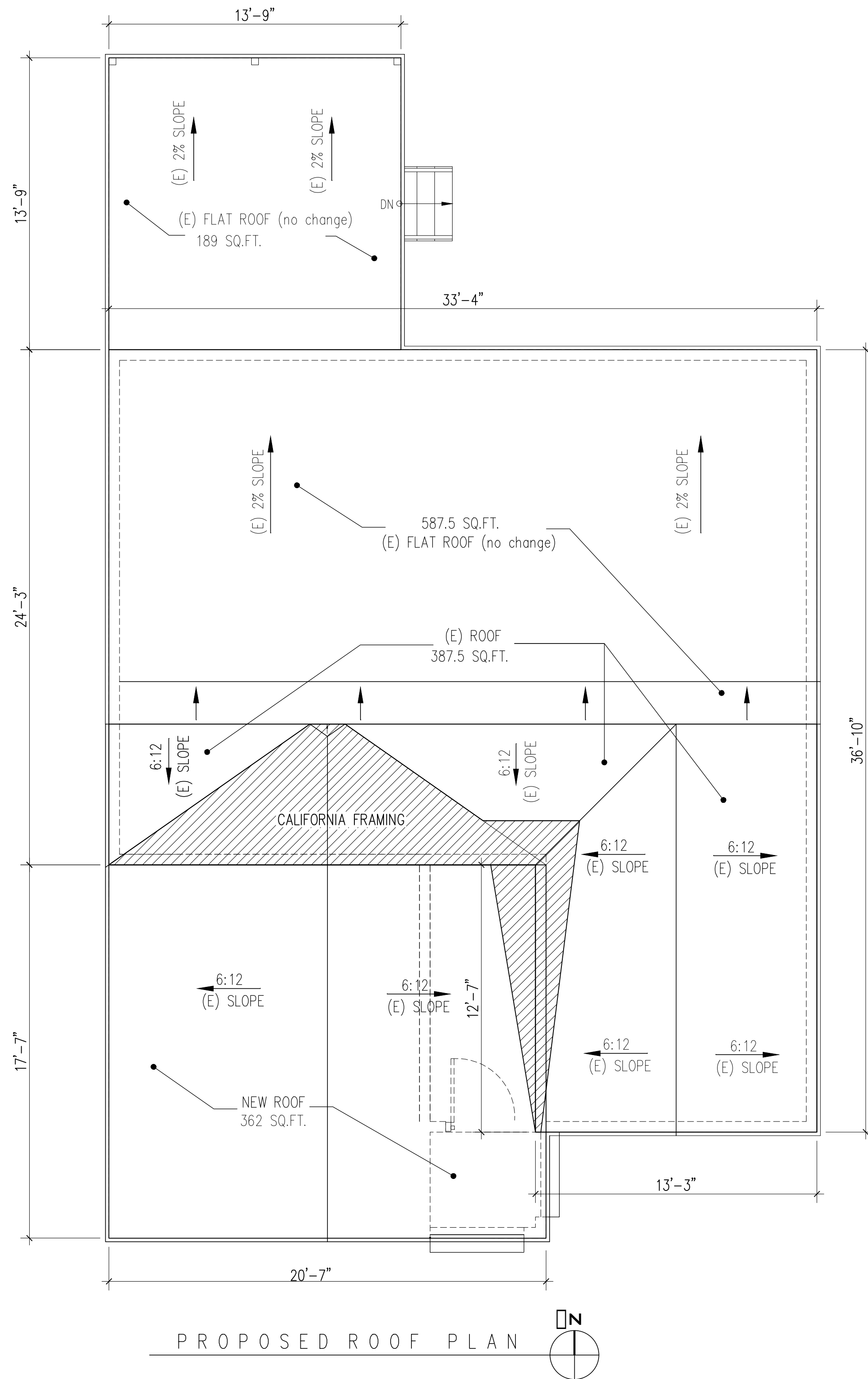
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SHEET NO.

A-3

CONSULTOR:
SUSANNA SAHAKIAN
313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
E-MAIL: susanshak@yahoo.com

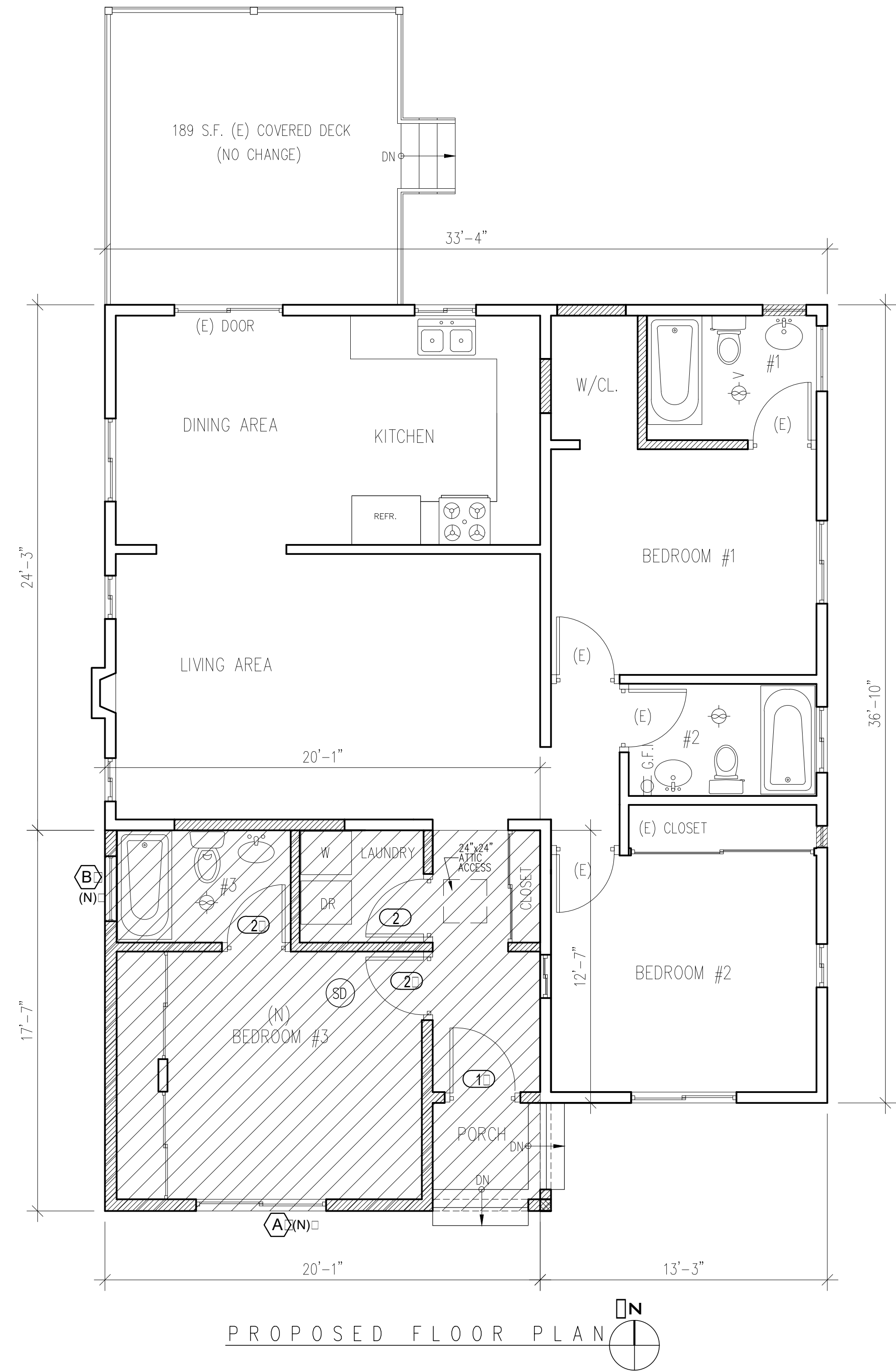
OWNER:
SERINE KARAPETYAN
1363 E. GARFIELD AVE.
GLENDALE, CA 91205
(818) 461-4475



PROPOSED ROOF PLAN

LEGEND:

- 4. NEW WALLS
- 5. EXIST. WALLS TO REMAIN
- 6. EXIST. WALLS TO BE REMOVED
- 7. NEW ADDITION



PROPOSED FLOOR PLAN

DEMOLITION CALCULATION: $(A + B)/(C + D) = (0 + 387)/(1,420 + 975) = 387/2,395 = 0.15$

- A = ((AREA OF (E) EXTERIOR WALLS TO BE DEMOLISHED)) = 0.0 S.F.
- B = ((AREA OF (E) ROOF TO BE DEMOLISHED OR (CALIFORNIA ROOF)) = 387 S.F.
- C = ((TOTAL AREA OF THE (E) WALLS)) = 1,420 S.F.
 $24'3'' + 33'4'' + 36'10'' + 13'3'' + 13.7 + 20'7'' = 142' \times 10' = 1,420$ S.F.
- D = ((TOTAL AREA OF THE (E) ROOF)) = 975 S.F.
 $587.5 + 387.5 = 975$ S.F.

PROJECT: PROPOSED 328 S.F. ADDITION TO (E) 1-STORY S.F.D.
 ADDRESS: 1363 E. GARFIELD AVE.
 GLENDALE CA, 91202

JOB NO: ** ** *

SHEET TITLE

DEMO. WALLS AND ROOF CALCULATIONS

NOT FOR CONST.
 ISSUED FOR PERMIT
 ISSUED FOR CONST.

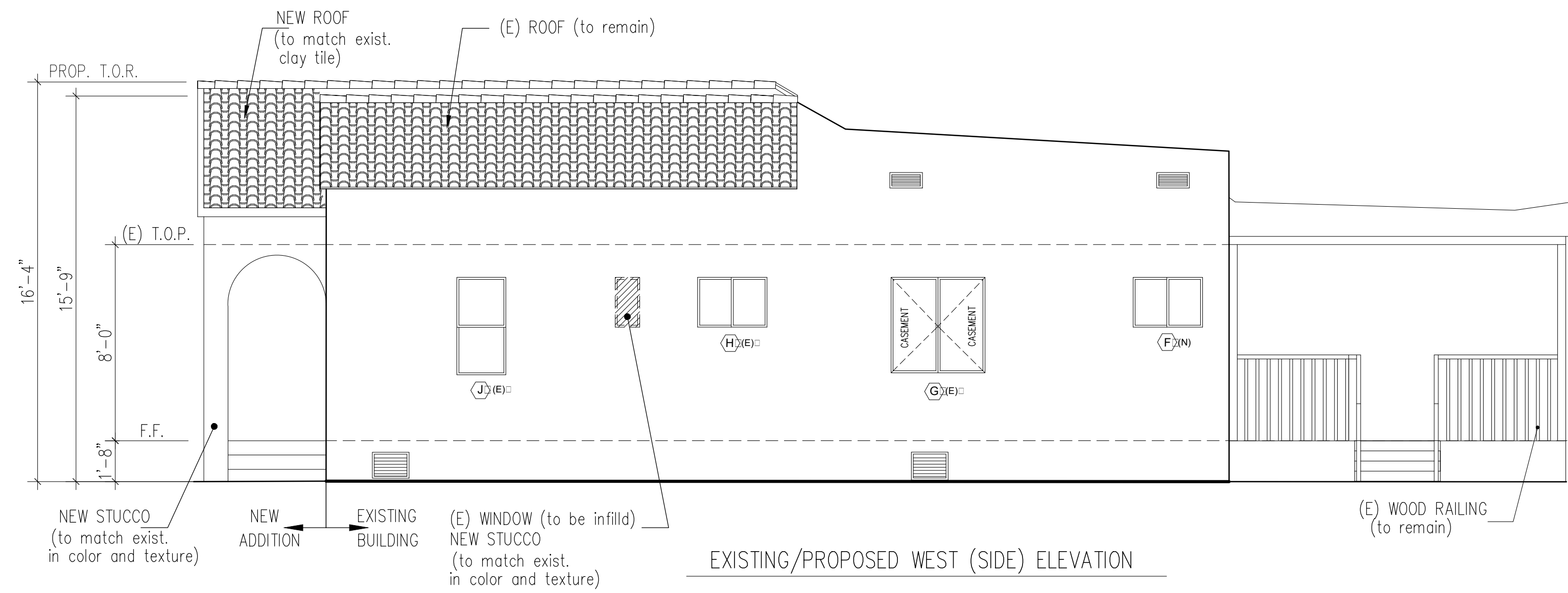
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SHEET NO.

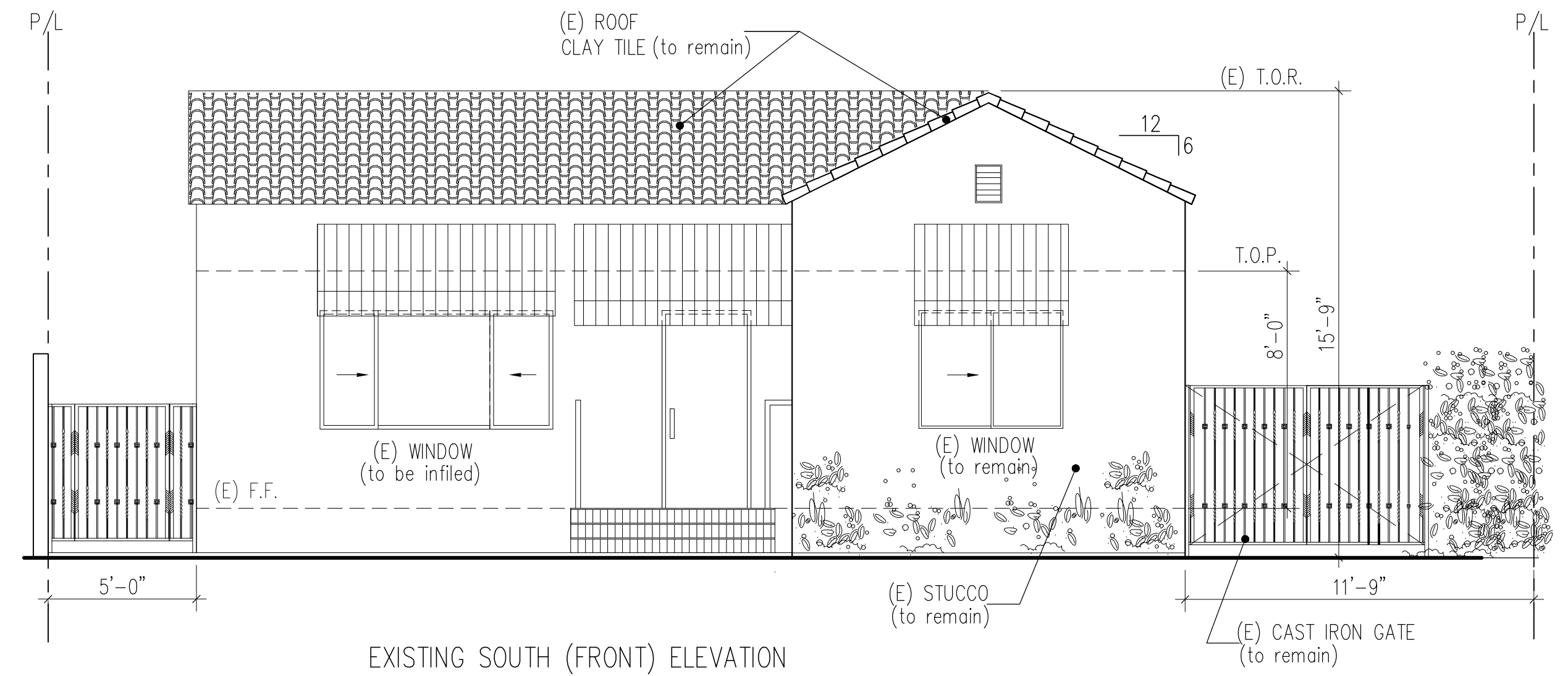
A-3a

OWNER: SERINE KARAPETYAN
 ADDRESS: 1363 E. GARFIELD AVE.
 GLENDALE, CA 91205
 (818) 461-4475

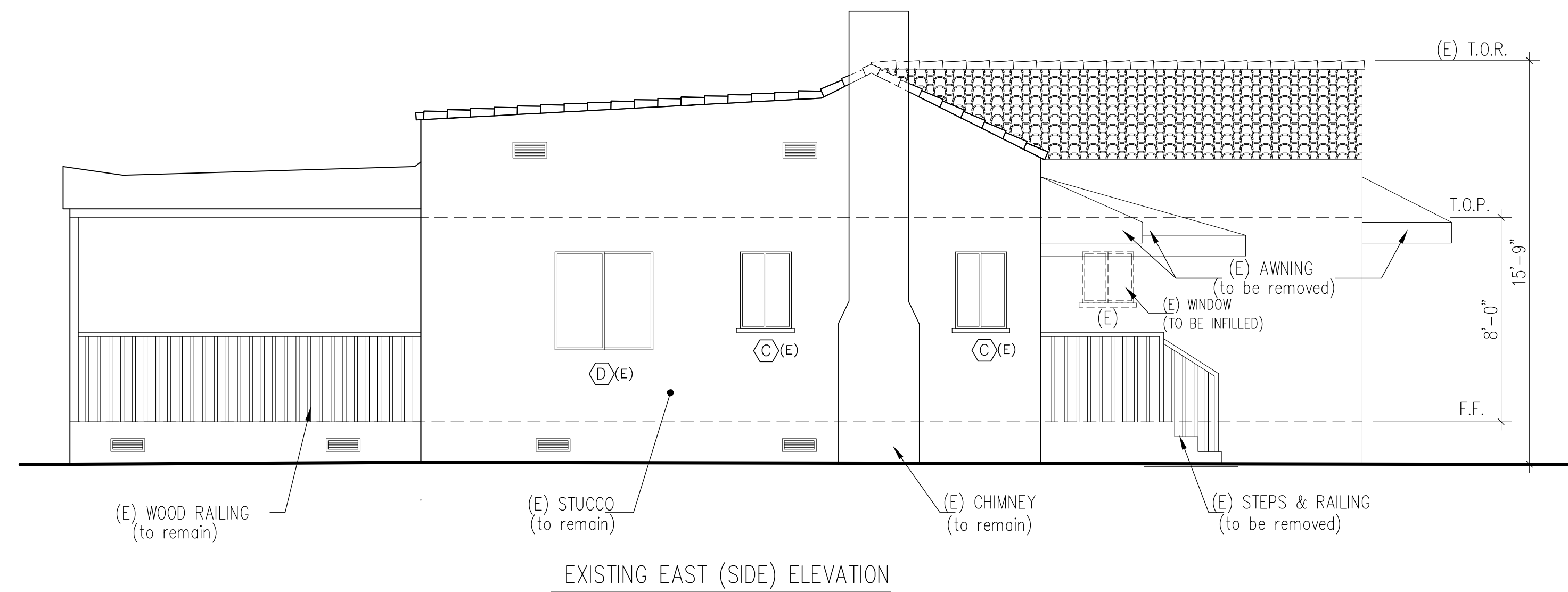
RESUR: SUSANNA SAHAKIAN
 313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
 E-MAIL: sussesahak@yahoo.com
 TEL: (818) 512-7380



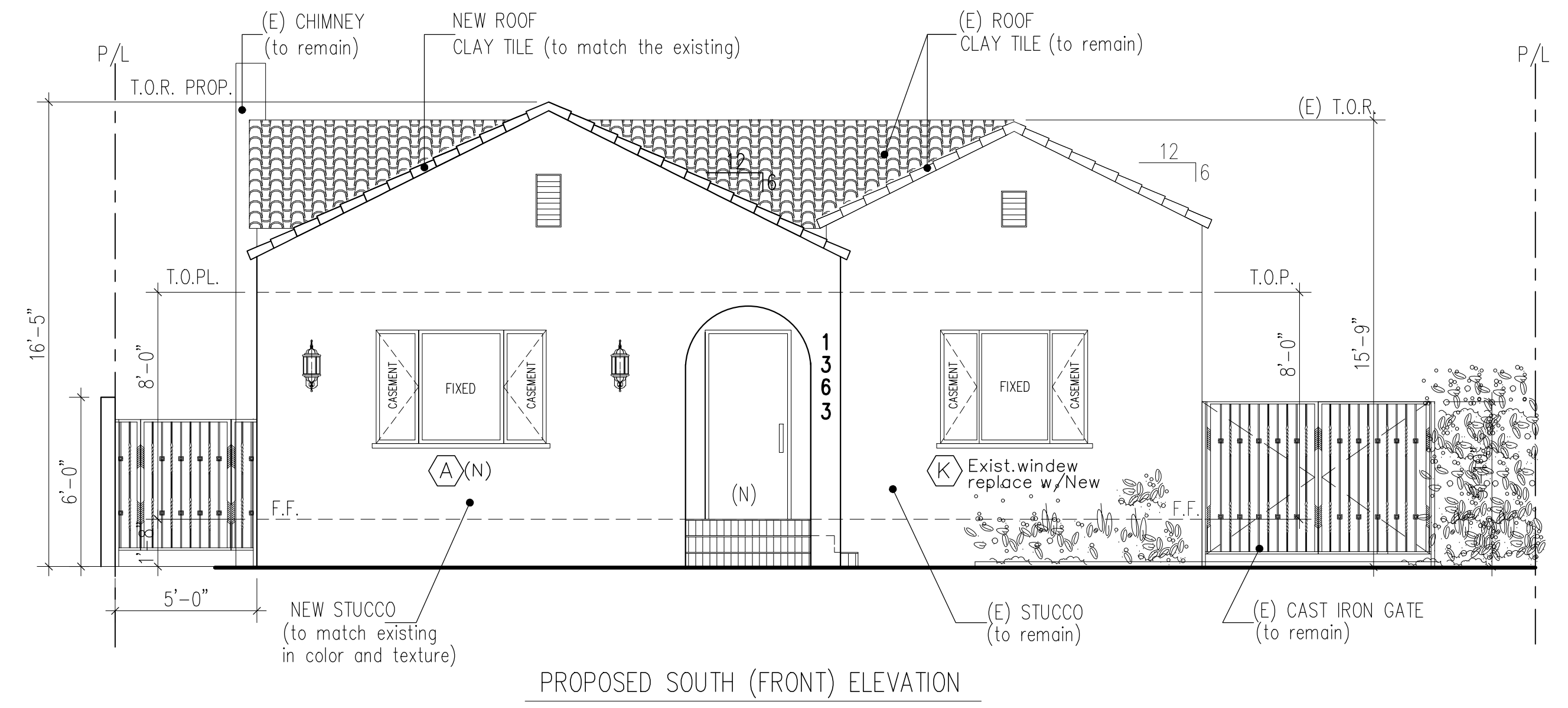
EXISTING/PROPOSED WEST (SIDE) ELEVATION



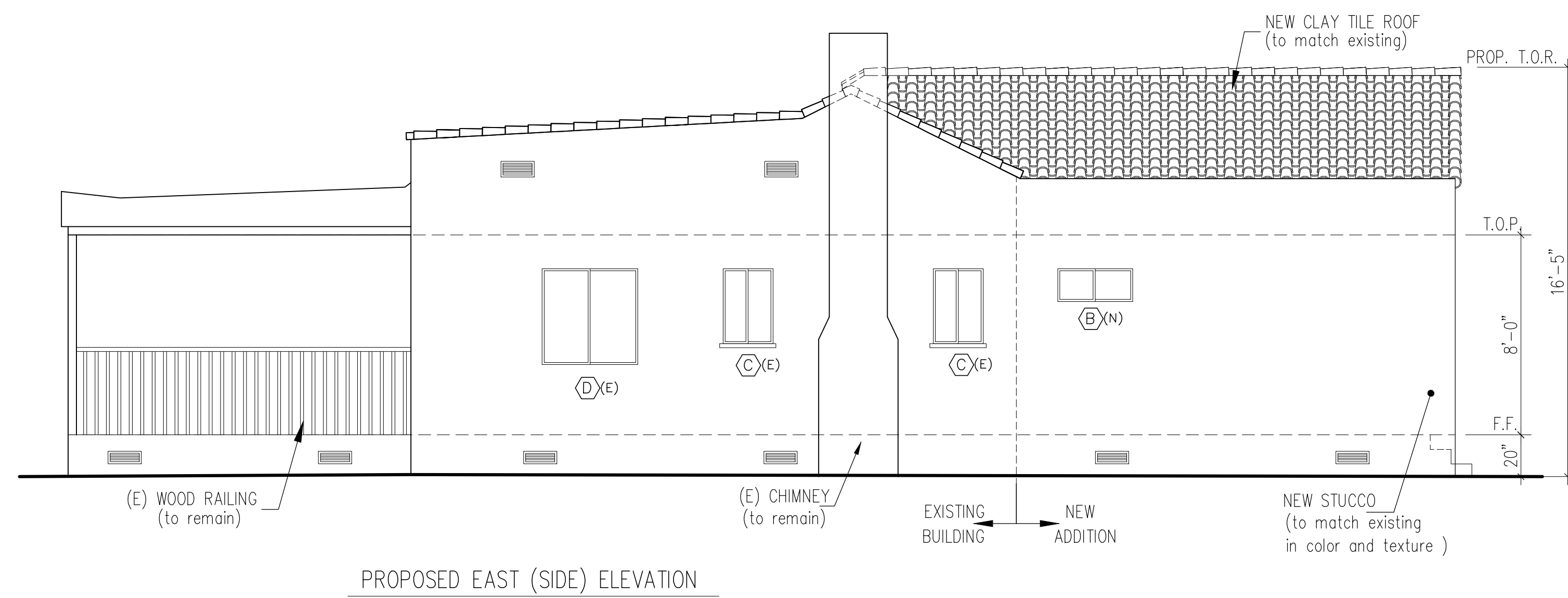
EXISTING SOUTH (FRONT) ELEVATION



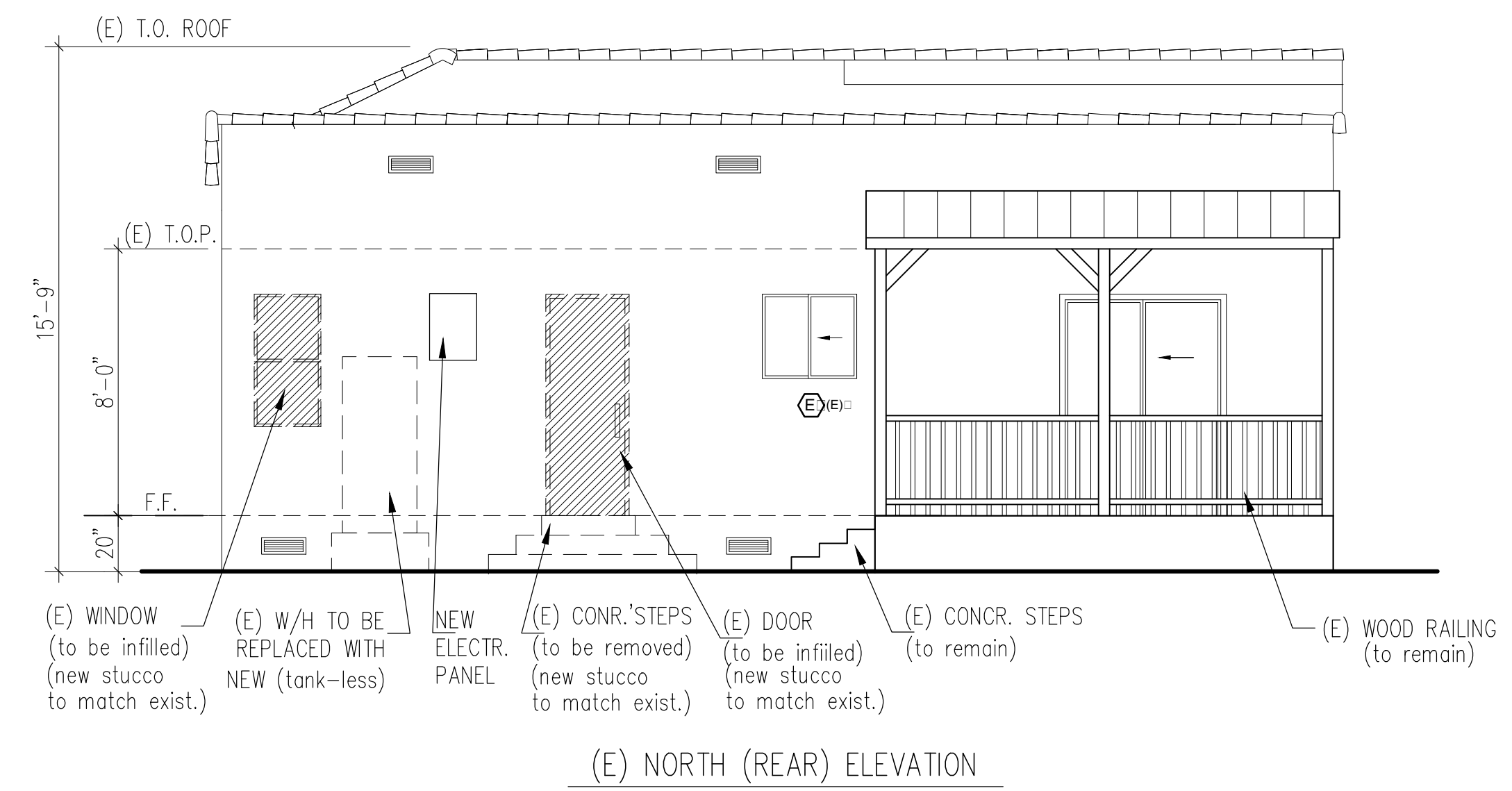
EXISTING EAST (SIDE) ELEVATION



PROPOSED SOUTH (FRONT) ELEVATION



PROPOSED EAST (SIDE) ELEVATION



(E) NORTH (REAR) ELEVATION

OWNER:
ANGELA SIMONYAN
1721 IDLEWOOD RD.
GLENDALE, CA 91202
(818) 653-7777

CONSULTING:
SUSANNA SAHAKIAN
313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
E-MAIL: susansahak@yahoo.com
TEL: (818) 512-7380

PROJECT:
PROPOSED 328 S.F. ADDITION TO (E) 1-STORY S.F.D.
ADDRESS:
1363 E. GARFIELD AVE.
GLENDALE CA, 91202

JOB NO: ***

SHEET TITLE

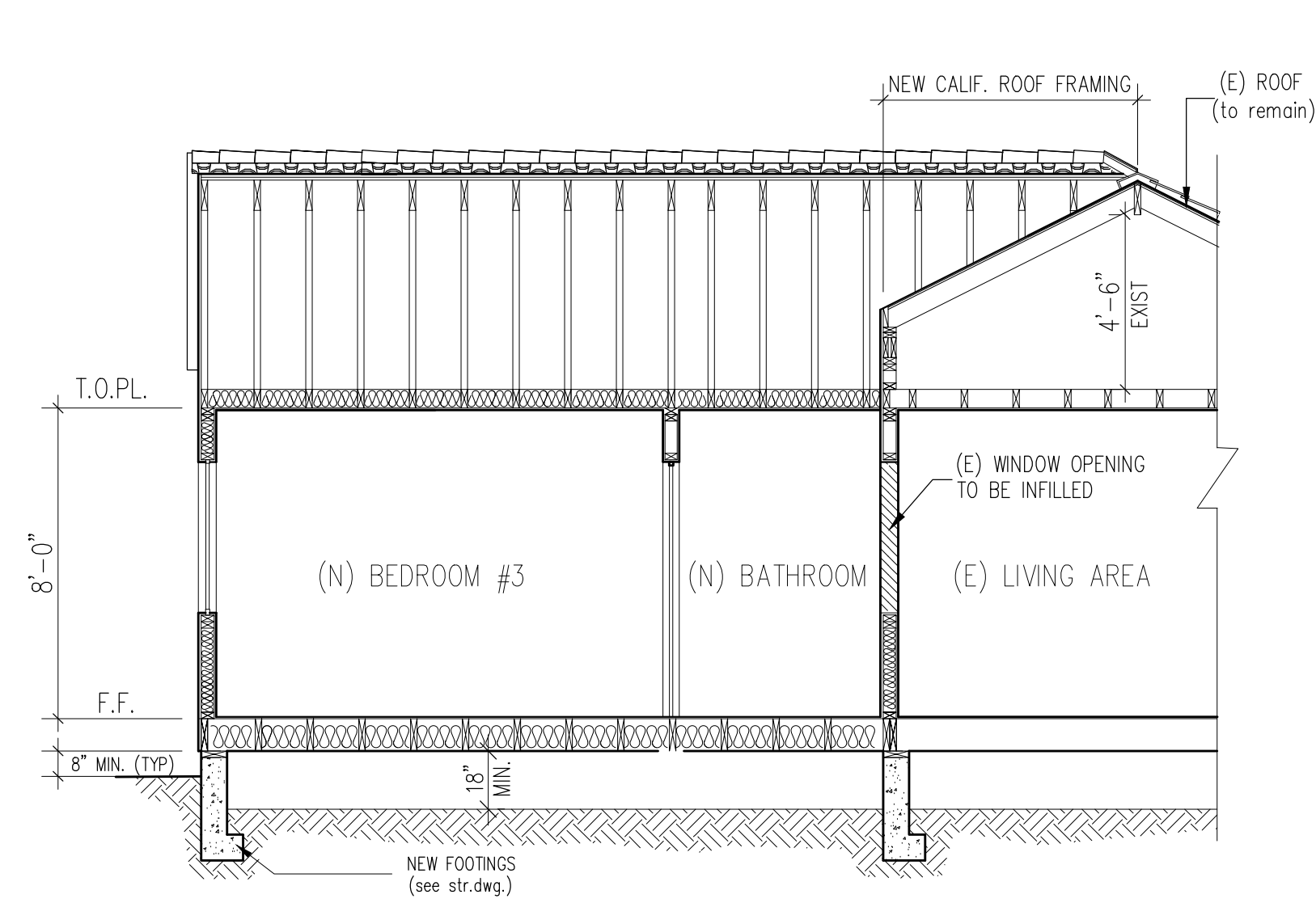
EXISTING/
PROPOSED
ELEVATIONS

NOT FOR CONST.
ISSUED FOR PERMIT
ISSUED FOR CONST.

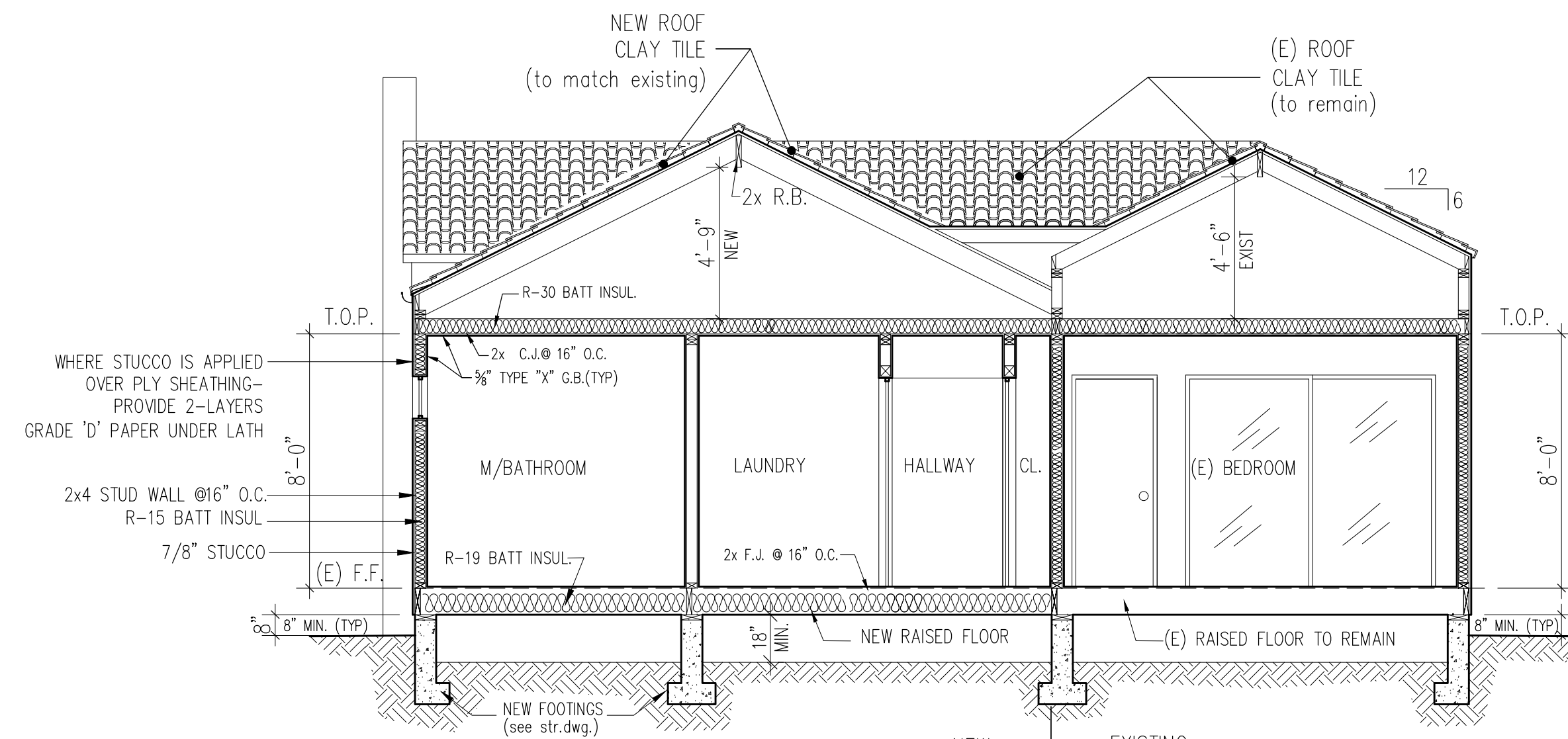
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SHEET NO.

A-4



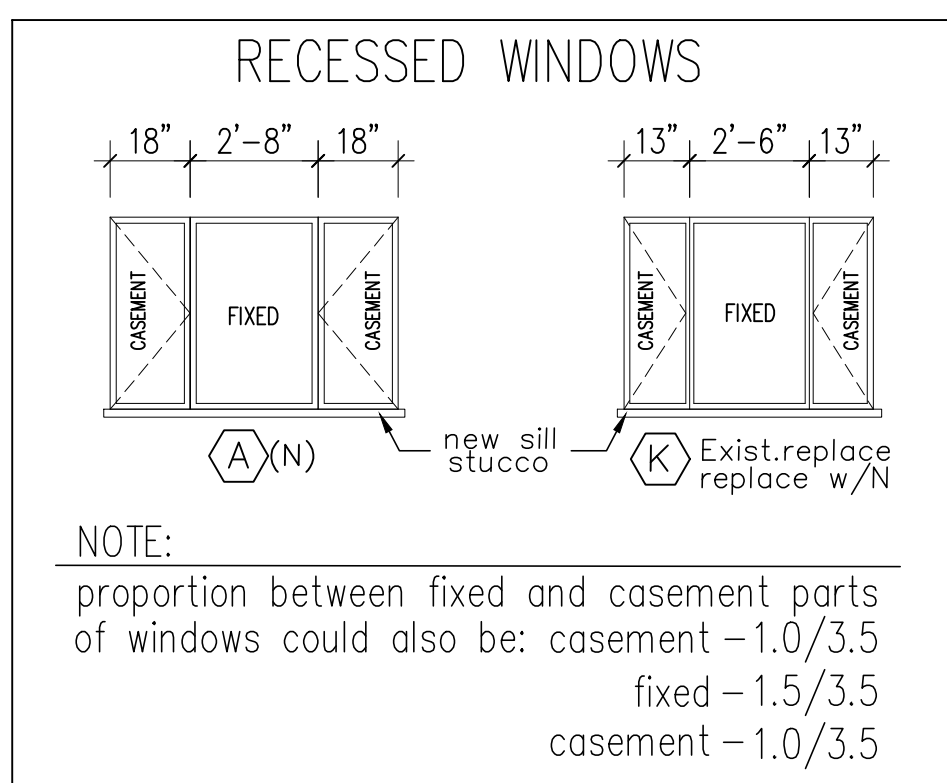
SECTION "A-A"



SECTION "1-1"

NEW WINDOW SCHEDULE

NO. WINDOW NUMBER	QUANTITY	EXISTING WIDTH x HEIGHT	NEW WIDTH x HEIGHT	EXISTING MATERIAL	NEW MATERIAL	LOCATION	VISIBLE FROM THE STREET Y/N?	(E) OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (SDL) Y/N	KEEP (E) SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	(E) EDGE DETAIL	NEW EDGE DETAIL	BEDROOM Y/N	ENERGY EFFICIENT? Y/N	TEMPERED GLASS? Y/N	FIRE HAZARD ZONE? Y/N	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR?
A (N)	1	N/A	72"x48"	N/A	VINYL	BEDROOM#3	YES	N/A	CASEMENT/FIXED	BLOCK	NO	N/A	YES	N/A	STUCCO (to match exist.)	YES	YES	NO	NO	NO
B (N)	1	N/A	36"x16"	N/A	VINYL	BATHROOM #3	YES	N/A	SLIDING	BLOCK	NO	N/A	YES	N/A	STUCCO (to match exist.)	NO	YES	YES	NO	NO
C (E)	2	24"x36"	N/A	ALUMINUM	VINYL	FAMILY ROOM	NO	SLIDING	SLIDING (match (e))	BLOCK	NO	YES	NO	STUCCO	N/A	NO	YES	NO	NO	NO
D (E)	1	48"x48"	N/A	ALUMINUM	VINYL	DINING AREA	NO	SLIDING	SLIDING (match (e))	BLOCK	NO	YES	NO	STUCCO	N/A	NO	YES	NO	NO	NO
E (E)	1	36"x30"	N/A	ALUMINUM	VINYL	KITCHEN	NO	SLIDING	SLIDING (match (e))	BLOCK	NO	YES	NO	STUCCO	N/A	NO	YES	NO	NO	NO
F (N)	1	N/A	36"x24"	N/A	VINYL	BATHROOM #1	YES (too far) (see A-9 #2)	N/A	CASEMENT	BLOCK	NO	N/A	YES	STUCCO	STUCCO (to match exist.)	NO	YES	YES	NO	NO
G (E)	1	48"x48"	N/A	ALUMINUM	VINYL	BEDROOM #1	YES (too far) (see A-9 #2)	SLIDING	CASEMENT	BLOCK	NO	YES	NO	STUCCO	N/A	YES	YES	NO	NO	NO
H (E)	1	36"x24"	N/A	ALUMINUM	VINYL	BATHROOM #2	YES	SLIDING	SLIDING (match (e))	BLOCK	NO	YES	NO	STUCCO	N/A	NO	YES	NO	NO	NO
J (E)	1	24"x48"	N/A	ALUMINUM	VINYL	BEDROOM #2	YES	SINGLE HANG	SINGLE HANG	BLOCK	NO	YES	NO	STUCCO	N/A	YES	YES	NO	NO	NO
K (E)	1	60"x48"	N/A	ALUMINUM	VINYL	BEDROOM #2	YES	SLIDING	CASEMENT/FIXED	BLOCK	NO	N/A	YES	N/A	STUCCO	YES	YES	NO	NO	NO



DOOR SCHEDULE (NEW)

#	QTY	DOOR TYPE	DOOR SIZE			MATERIAL	FRAME	LOCATION	REMARKS
			WIDTH	HEIGHT	THK.				
1	1	A	3'-0"	7'-0"	PER MFG. SPECS.	GLASS/WOOD	WOOD	ENTRY	PRIVACY LOCK
2	3	B	2'-8"	6'-8"	PER MFG. SPECS.	WOOD	HOLLOW CORE	BEDROOM #3, BATHROOM #3, LAUNDRY ROOM	

OWNER: SERINE KARAPETYAN
ADDRESS: 1363 E. GARFIELD AVE. GLENDALE, CA 91205 (818) 461-4475

CONSULTING: SUSANNA SAHAKIAN
313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
E-MAIL: susansahak@yahoo.com TEL: (818) 512-7380

PROJECT: PROPOSED 328 S.F. ADDITION TO (E) 1-STORY S.F.D.
ADDRESS: 1363 E. GARFIELD AVE. GLENDALE CA, 91202

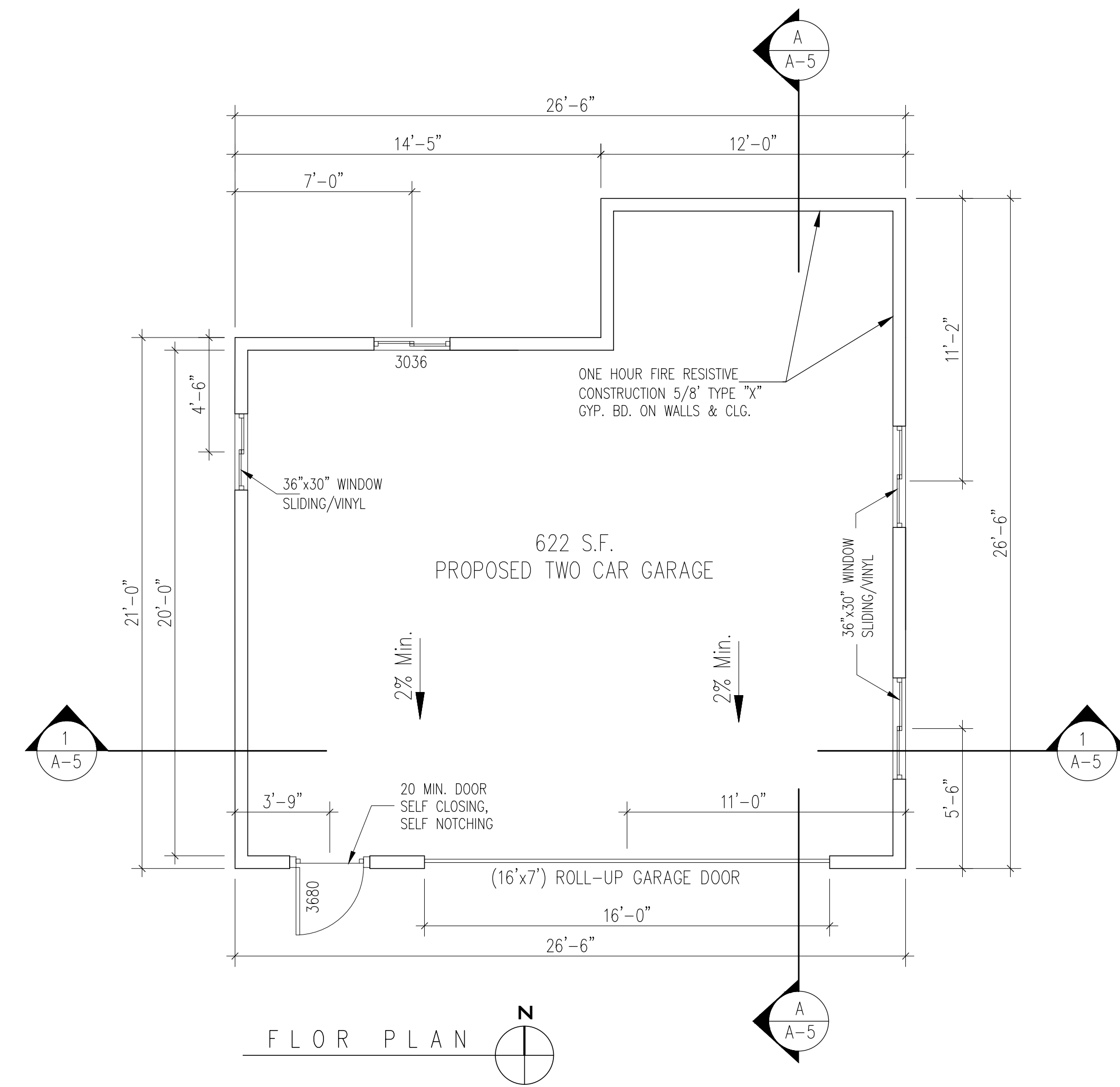
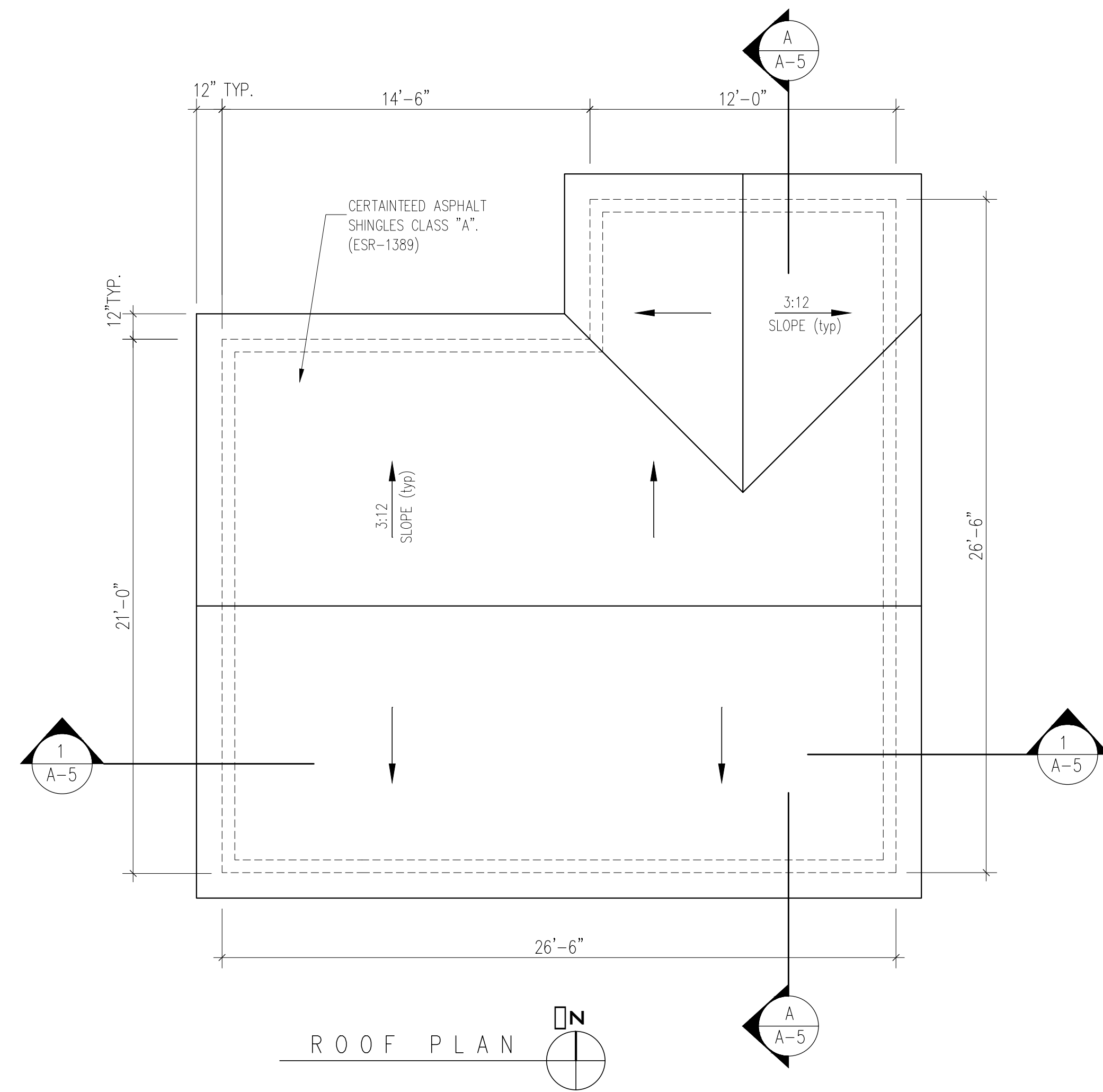
JOB NO: ***
SHEET TITLE: SECTIONS, DOOR/WEND SCHEDULE,

NOT FOR CONST.
ISSUED FOR PERMIT
ISSUED FOR CONST.

SCALE: 1/4"=1'-0"
SHEET NO.

A-5

PROPOSED 622 S.F. TWO CAR GARAGE



PROJECT: PROPOSED 622 S.F. DETACHED TWO CAR GARAGE
 ADDRESS: 1363 E. GARFIELD AVE.
 GLENDALE CA, 91202

JOB NO: ***
 SHEET TITLE: FLOOR PLAN
 ROOF PLAN

NOT FOR CONST.
 ISSUED FOR PERMIT
 ISSUED FOR CONST.

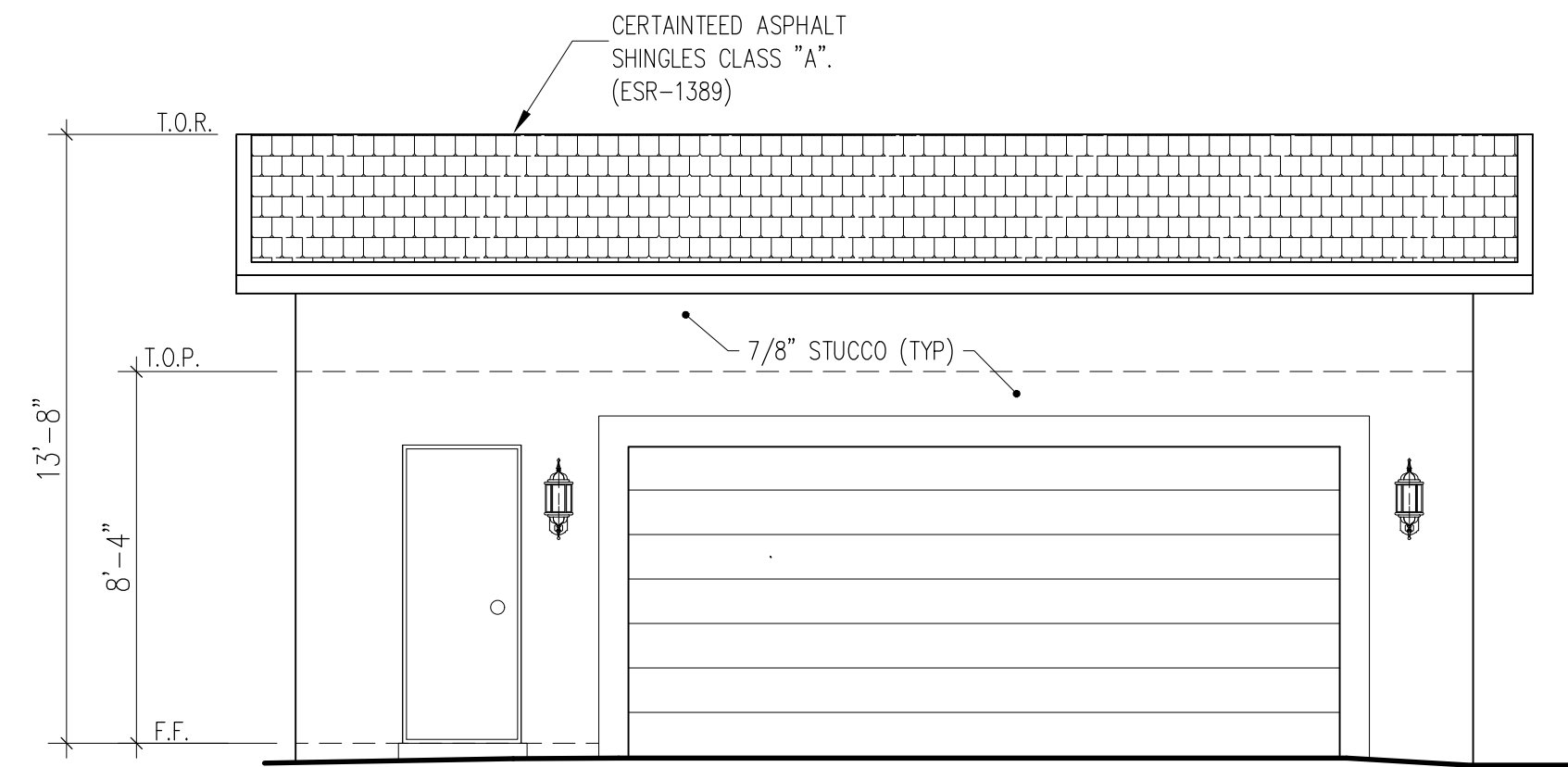
SCALE: 1/4"=1'-0"
 SHEET NO.

A-6

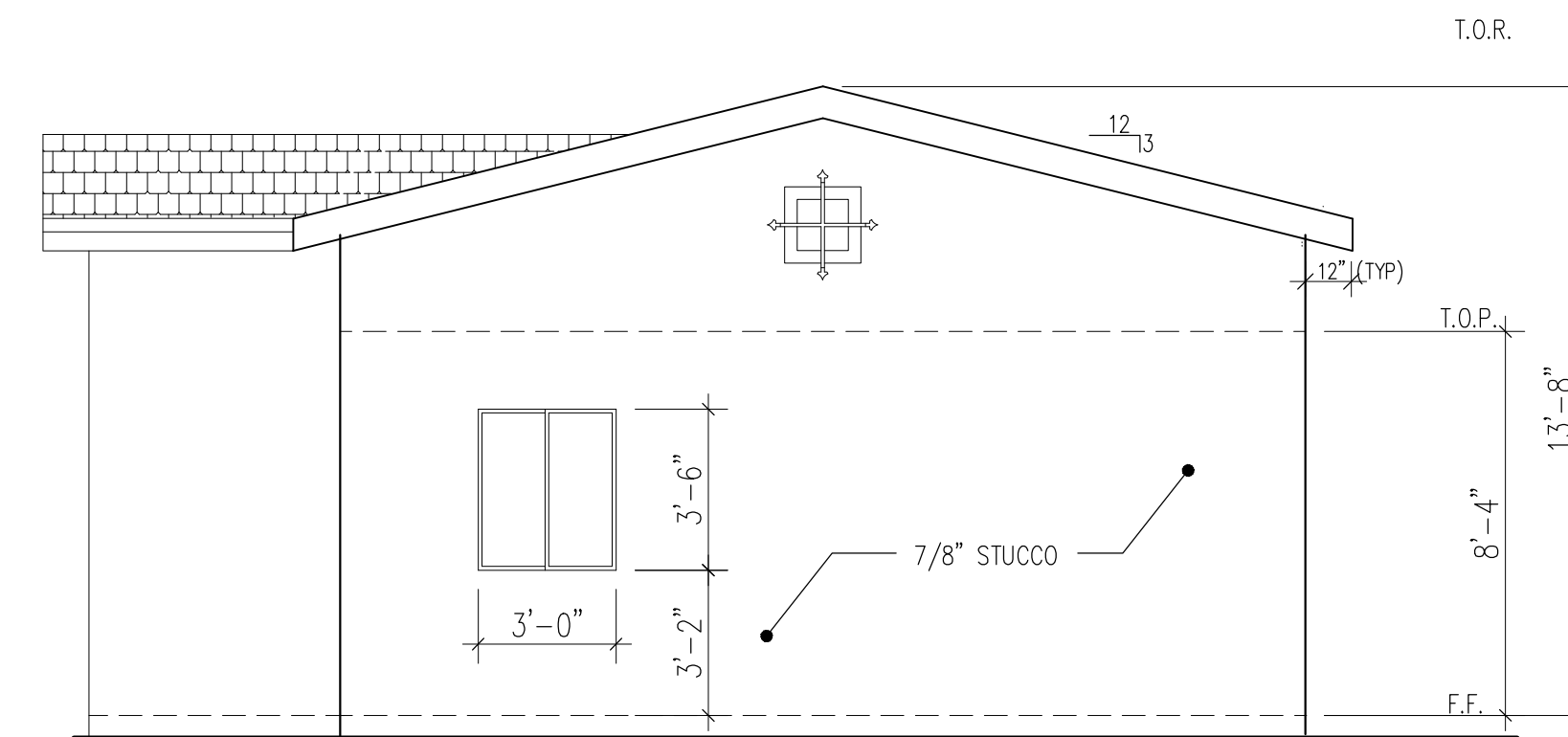
PREPARED BY: SUSANNA SAHAKIAN
 313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
 E-MAIL: susnashak@yahoo.com
 TEL: (818) 512-7380

OWNER: SERINE KARAPETYAN
 1363 E. GARFIELD AVE.
 GLENDALE, CA 91205
 (818) 461-4475

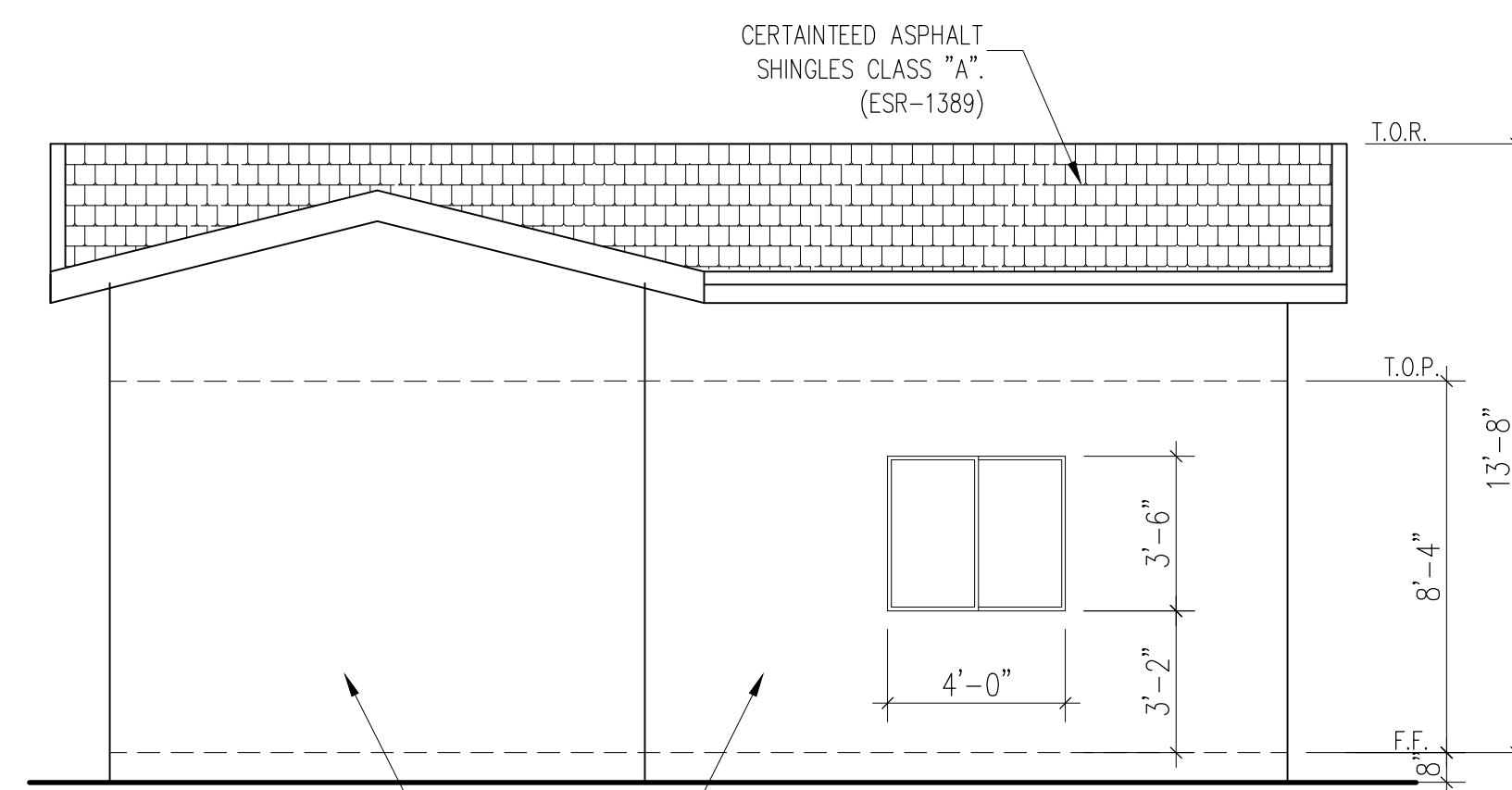
PROPOSED 622 S.F. TWO CAR GARAGE



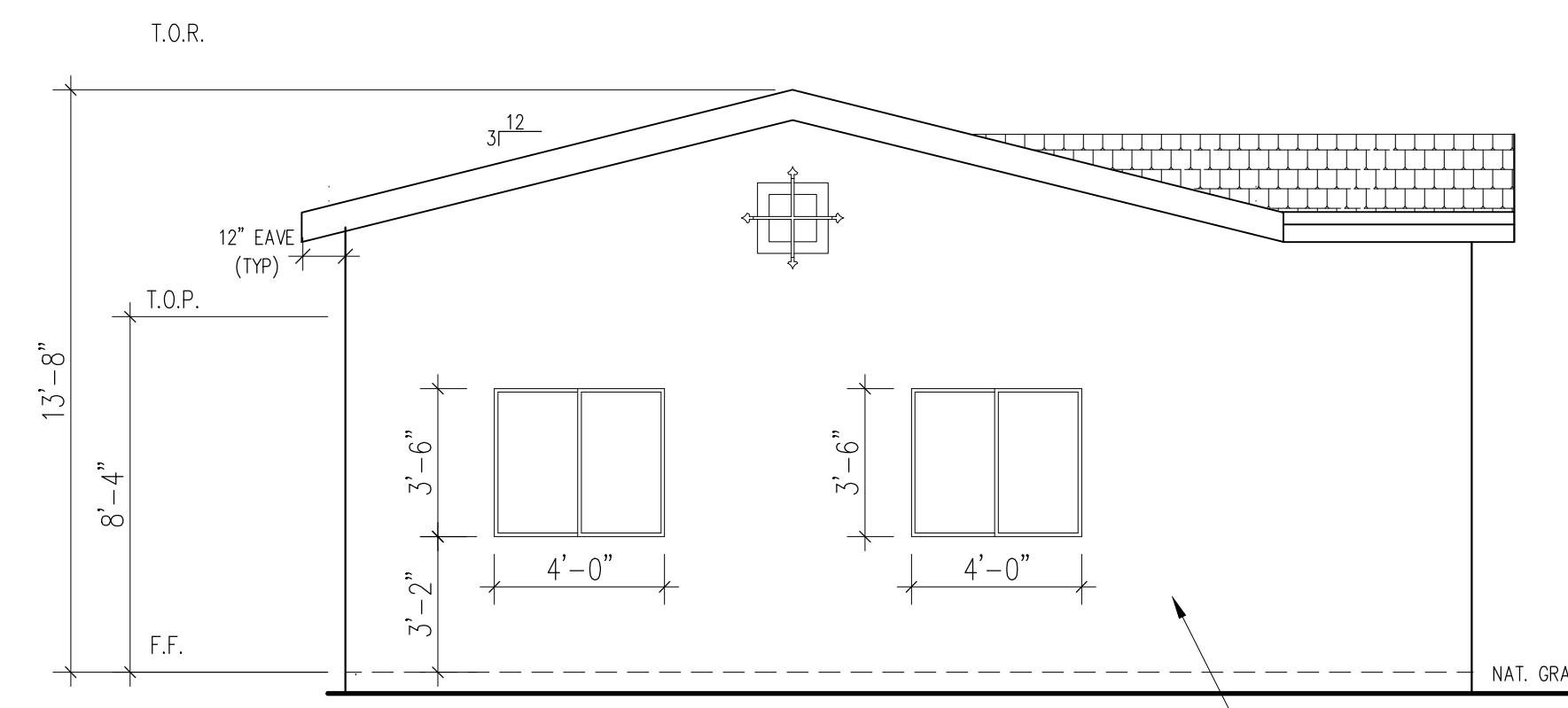
SOUTH ELEVATION



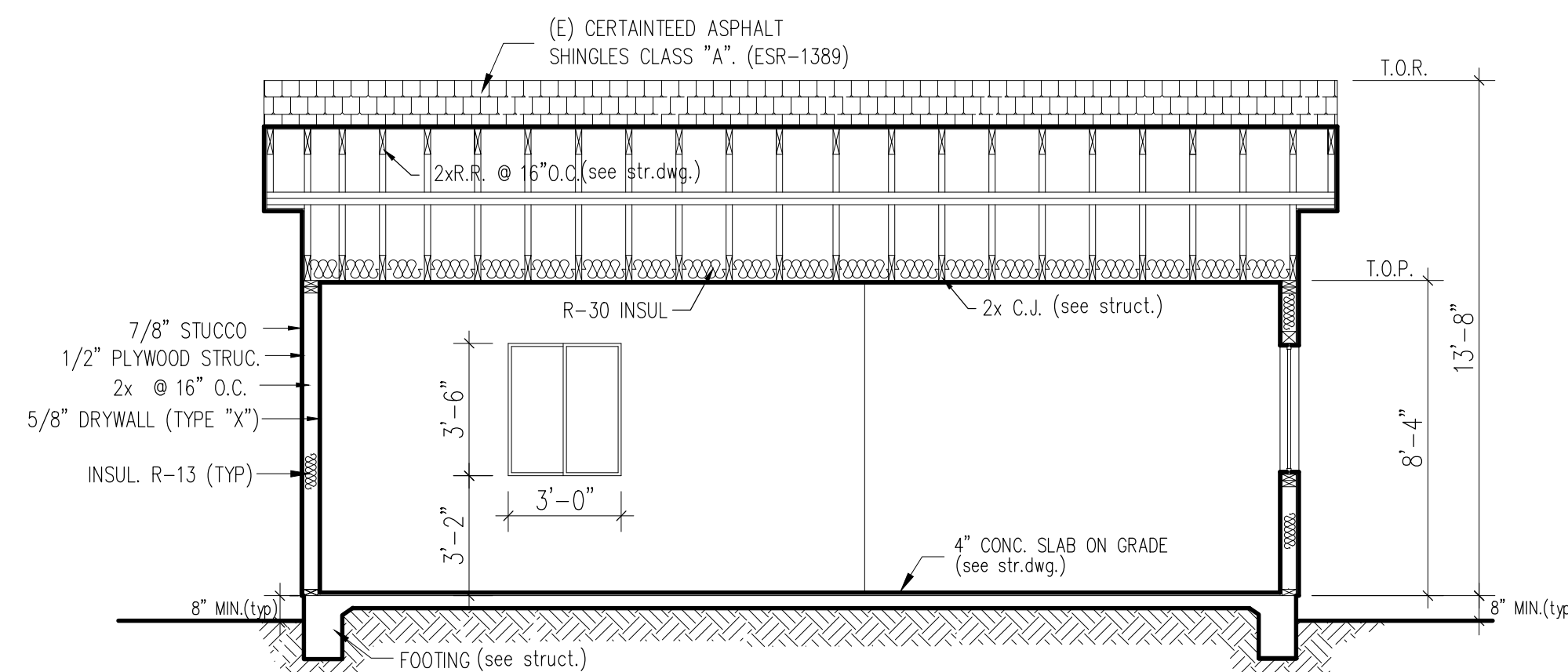
WEST ELEVATION



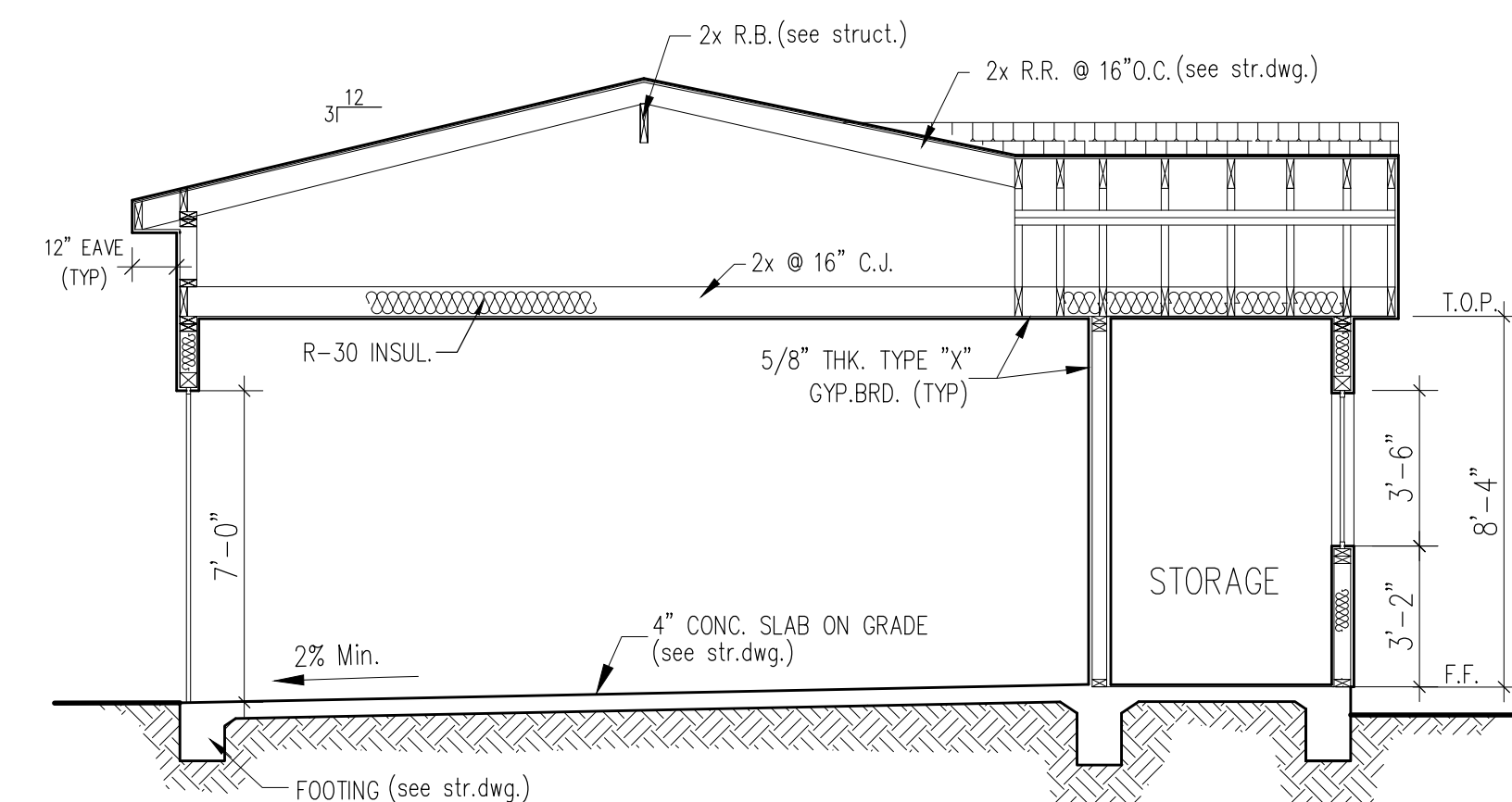
NORTH ELEVATION



EAST ELEVATION



SECTION 1-1



SECTION A-A

OWNER: SERINE KARAPETYAN
 ADDRESS: 1363 E. GARFIELD AVE.
 GLENDALE, CA 91205
 (818) 461-4475

RESUB: SUSANNA SAHAKIAN
 313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
 E-MAIL: susanshak@yahoo.com
 TEL: (818) 512-7380

PROJECT: PROPOSED 622 S.F. DETACHED TWO CAR GARAGE
 ADDRESS: 1363 E. GARFIELD AVE.
 GLENDALE CA, 91202

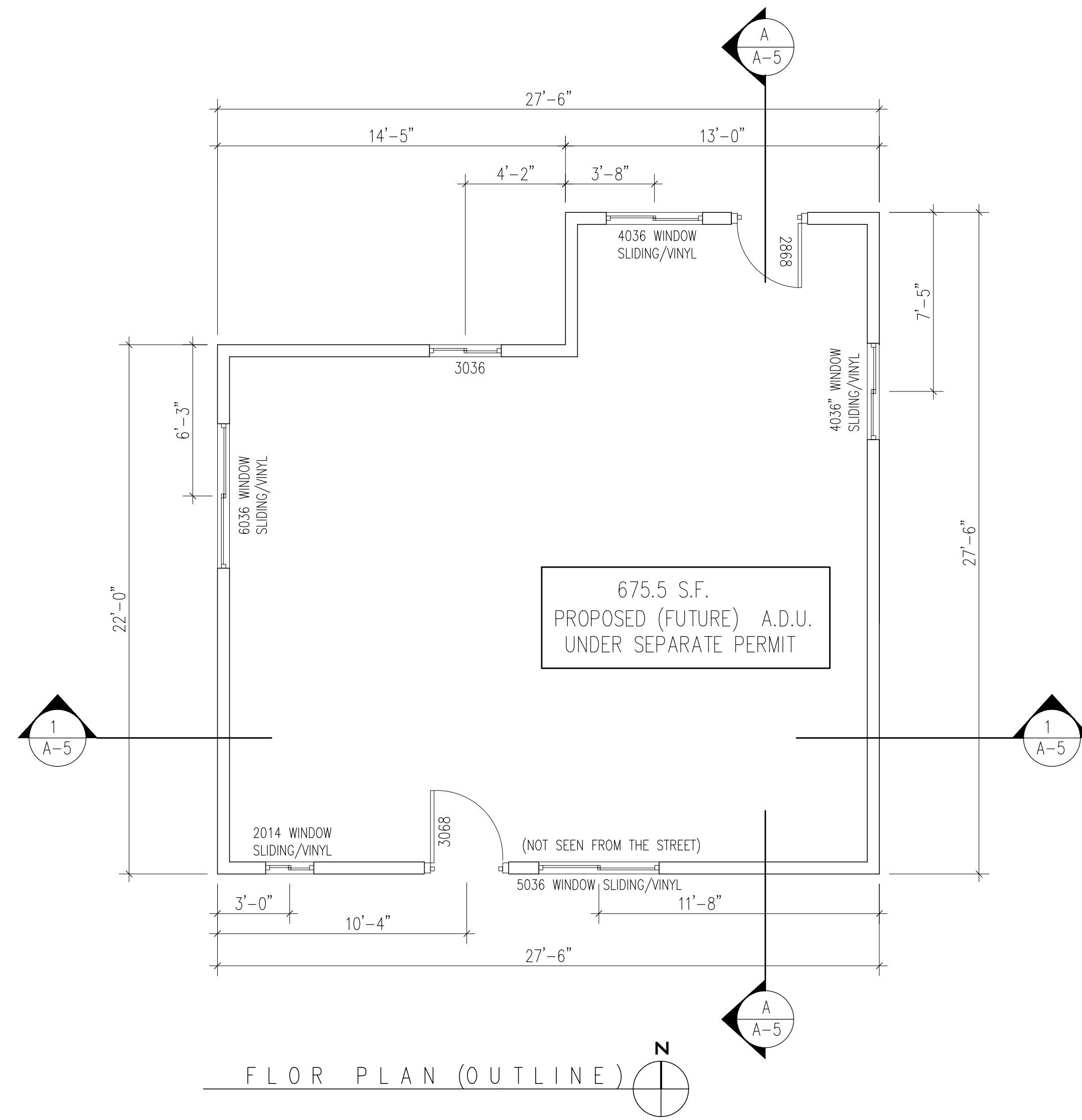
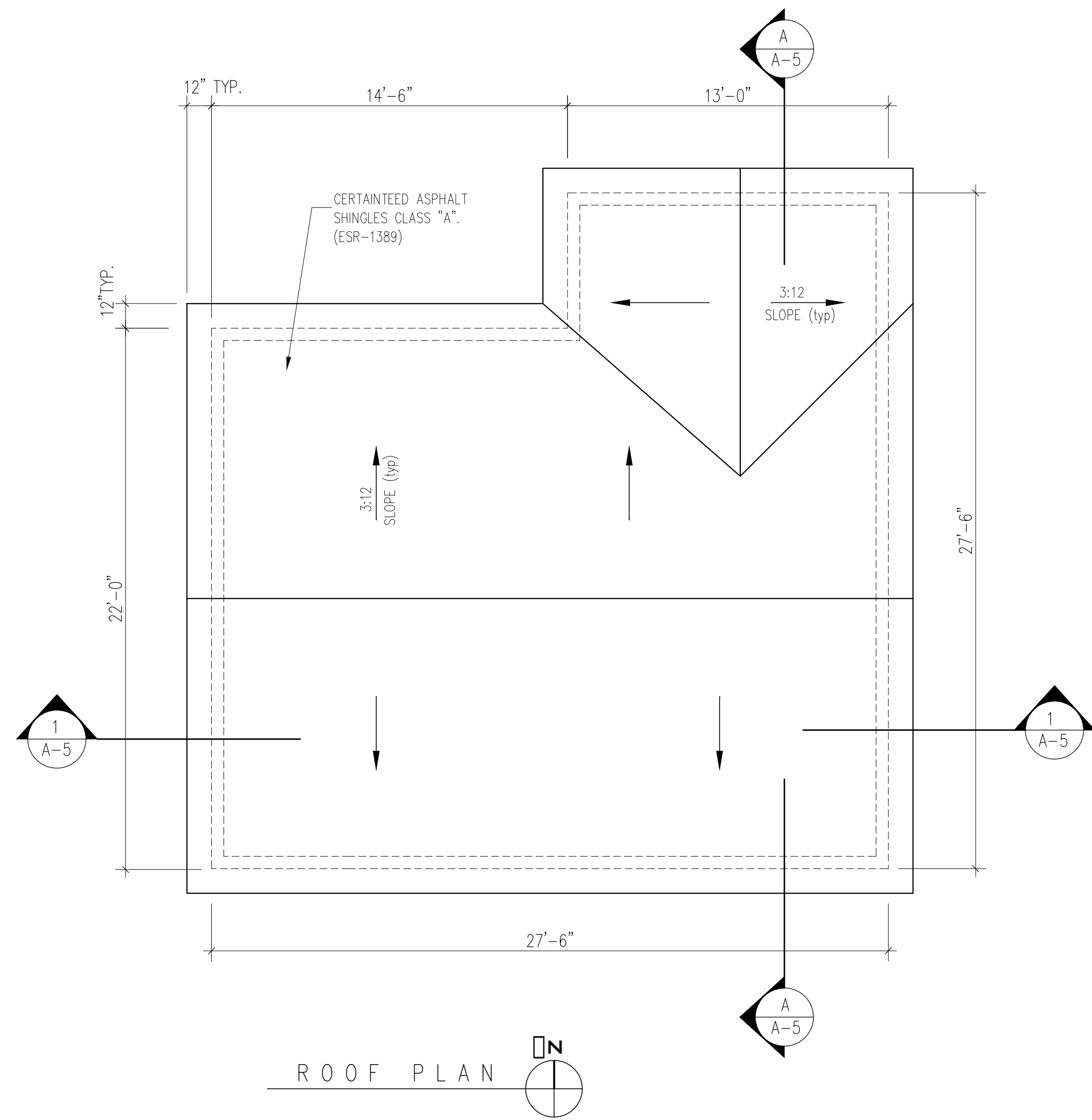
JOB NO: ***
 SHEET TITLE
 ELEVATIONS,
 SECTIONS

NOT FOR CONST.
 ISSUED FOR PERMIT
 ISSUED FOR CONST.

SCALE: 1/4"=1'-0"

SHEET NO.
A-6.a

675.5 S.F. PROPOSED (FUTURE) A.D.U. UNDER SEPARATE PERMIT



PROJECT: 675.5 S.F. PROPOSED (FUTURE) A.D.U.
ADDRESS: 1363 E. GARFIELD AVE.
GLENDALE CA, 91202

JOB NO: ***
SHEET TITLE
FLOOR PLAN
ROOF PLAN

NOT FOR CONST.
ISSUED FOR PERMIT
ISSUED FOR CONST.

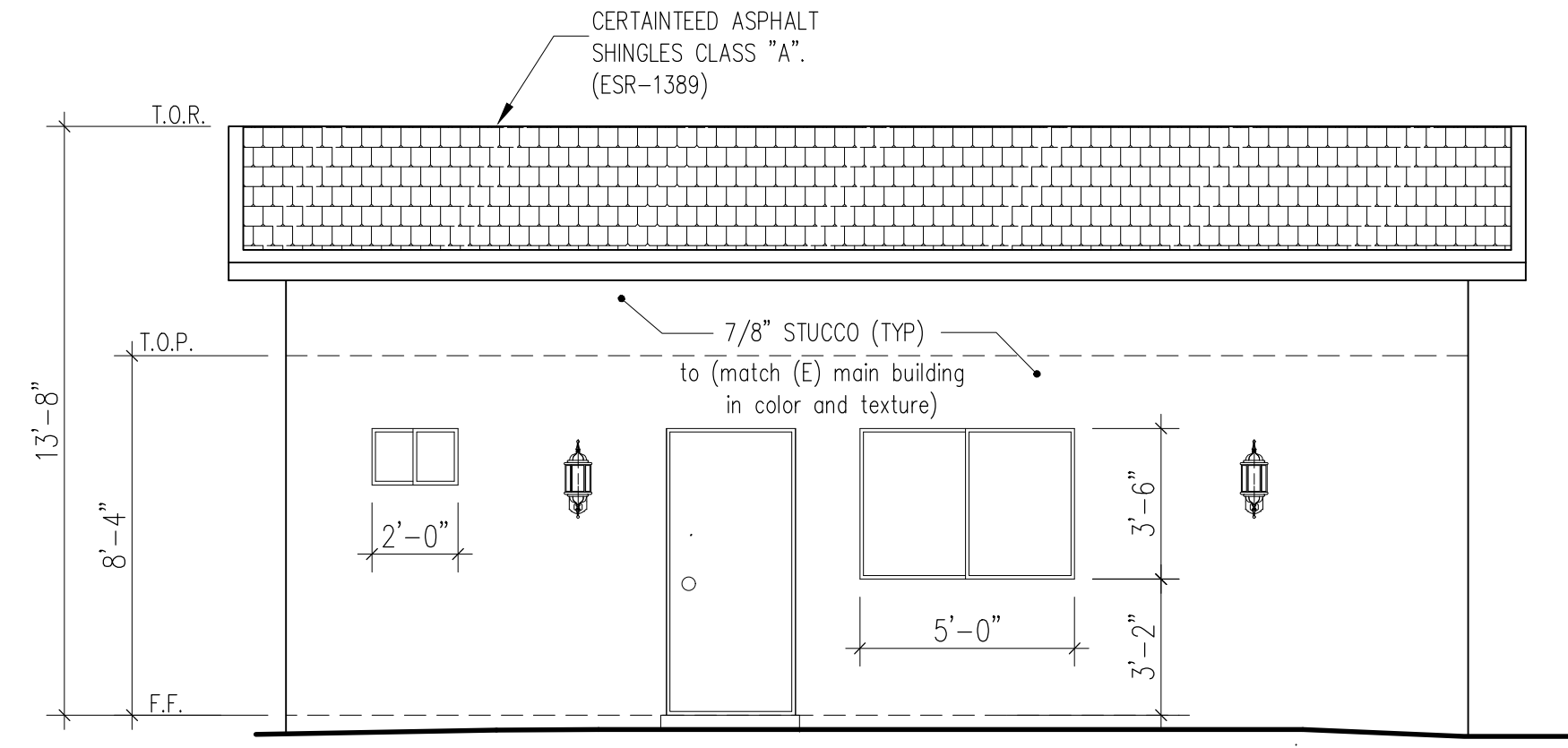
SCALE: 1/4"=1'-0"
SHEET NO.

A-6

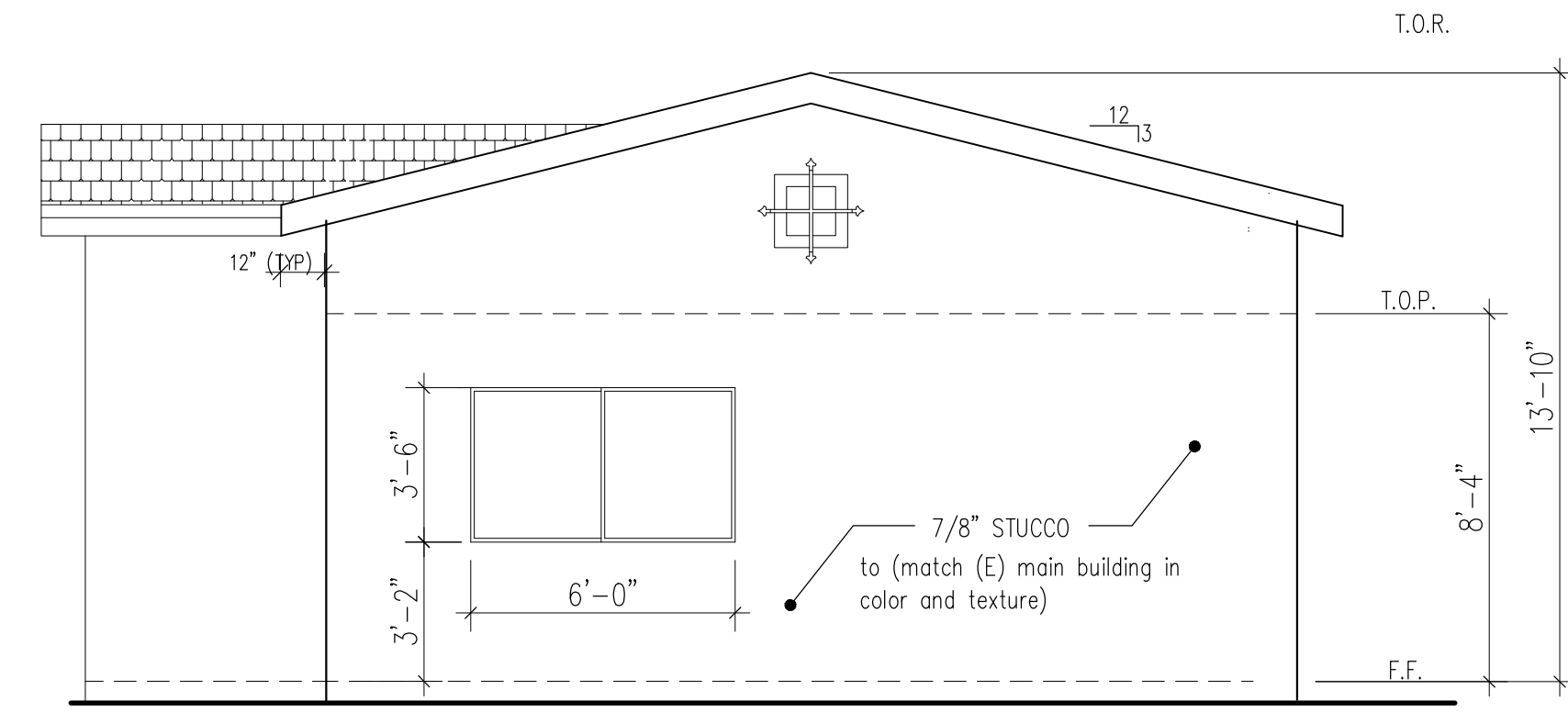
RESUB: SUSANNA SAHAKIAN
313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
E-MAIL: susanshahak@yahoo.com
TEL: (818) 512-7380

OWNER: SERINE KARAPETYAN
1363 E. GARFIELD AVE.
GLENDALE, CA 91205
(818) 461-4475

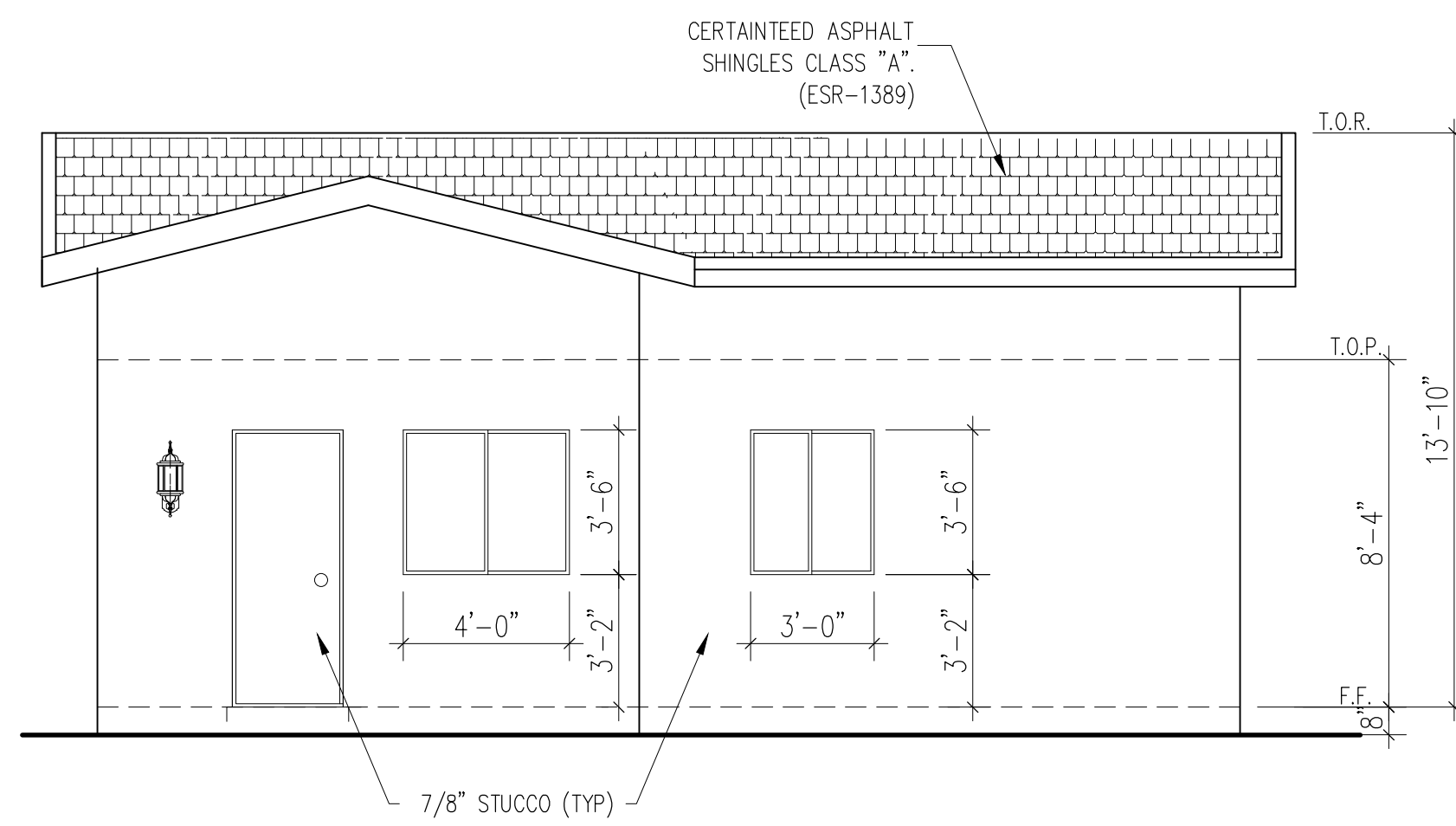
675.5 S.F. PROPOSED (FUTURE) A.D.U. UNDER SEPARATE PERMIT



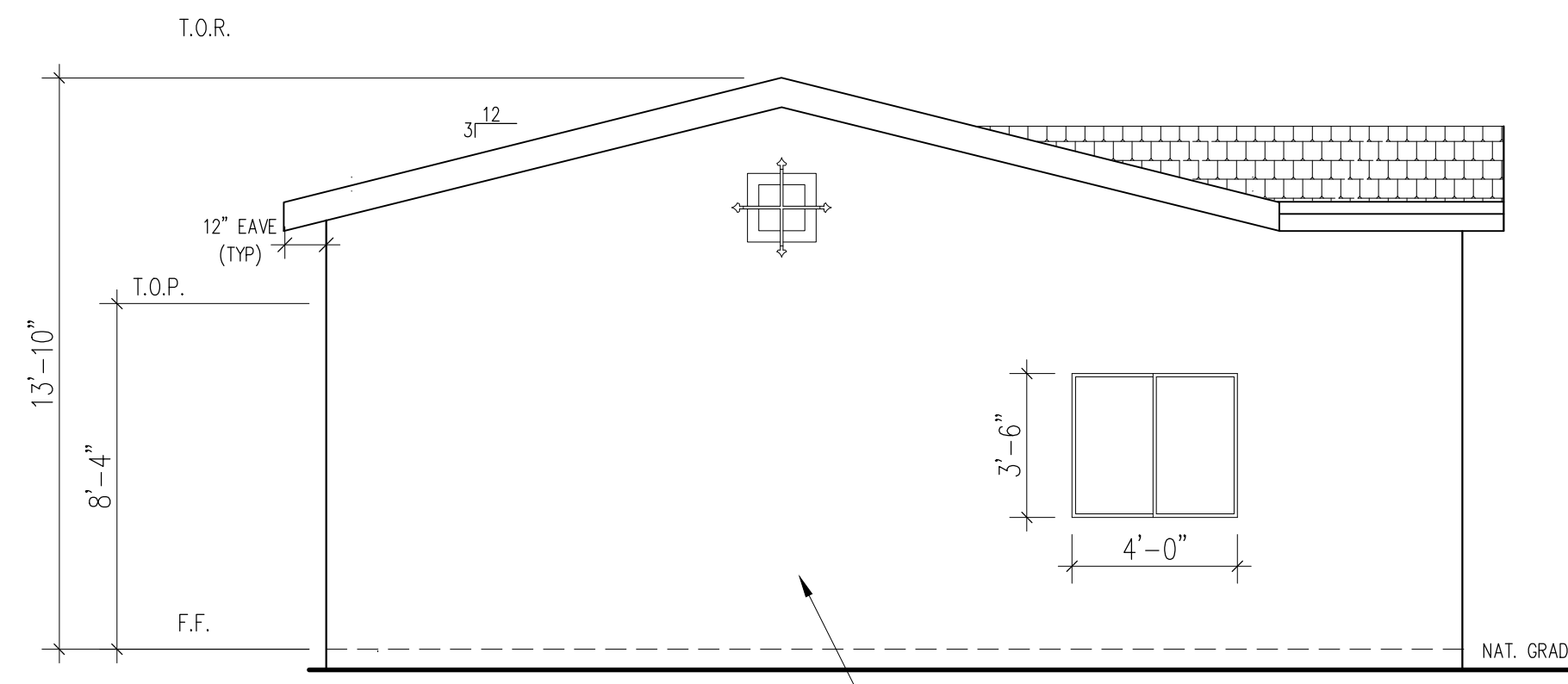
SOUTH (FRONT) ELEVATION



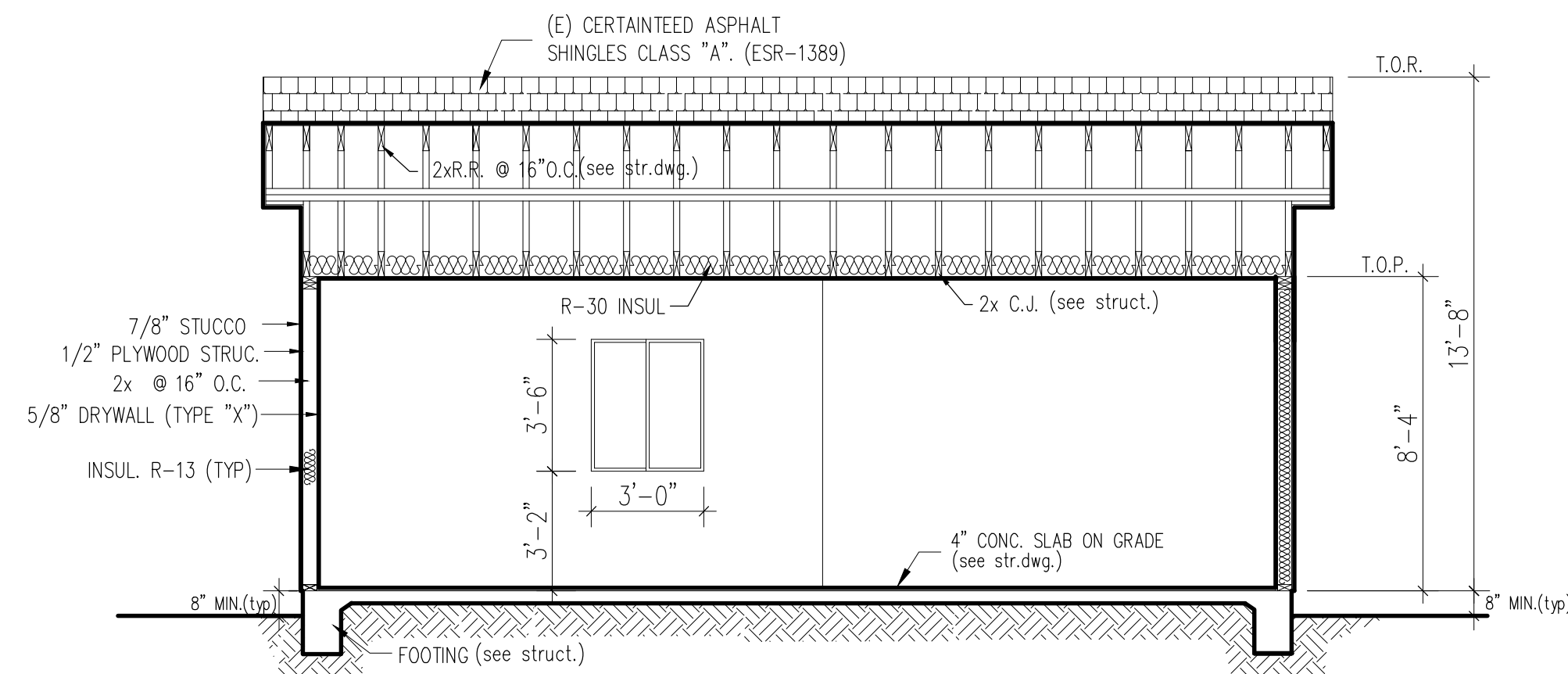
WEST ELEVATION



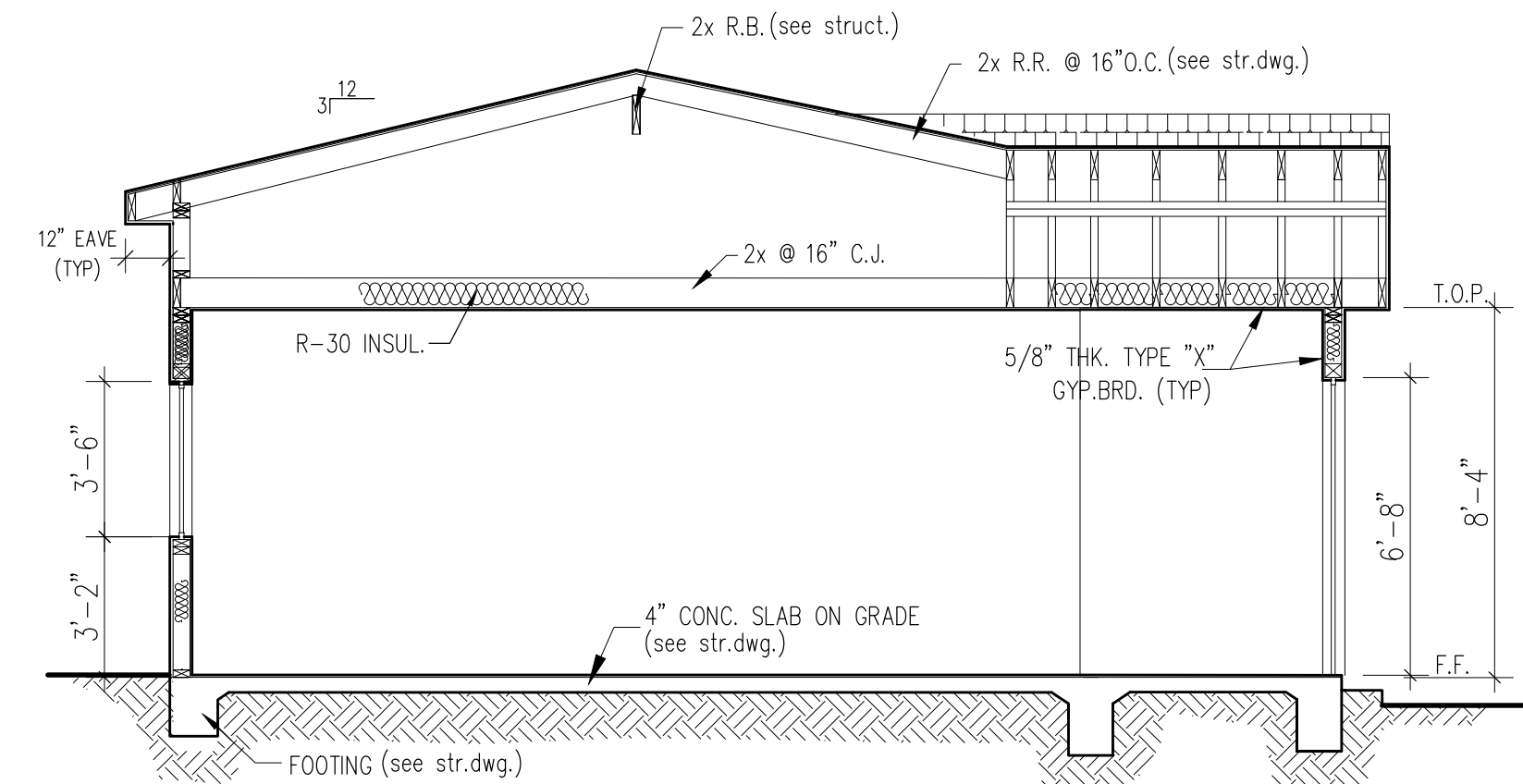
NORTH (REAR) ELEVATION



EAST ELEVATION



SECTION 1-1



SECTION A-A

OWNER: SERINE KARAPETYAN
1363 E. GARFIELD AVE.
GLENDALE, CA 91205
(818) 461-4475

RESUBMITTER: SUSANNA SAHAKIAN
313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
E-MAIL: susansahak@yahoo.com
TEL: (818) 512-7380

PROJECT: 675.5 S.F. PROPOSED (FUTURE) A.D.U.
ADDRESS: 1363 E. GARFIELD AVE.
GLENDALE CA, 91202

JOB NO: ***

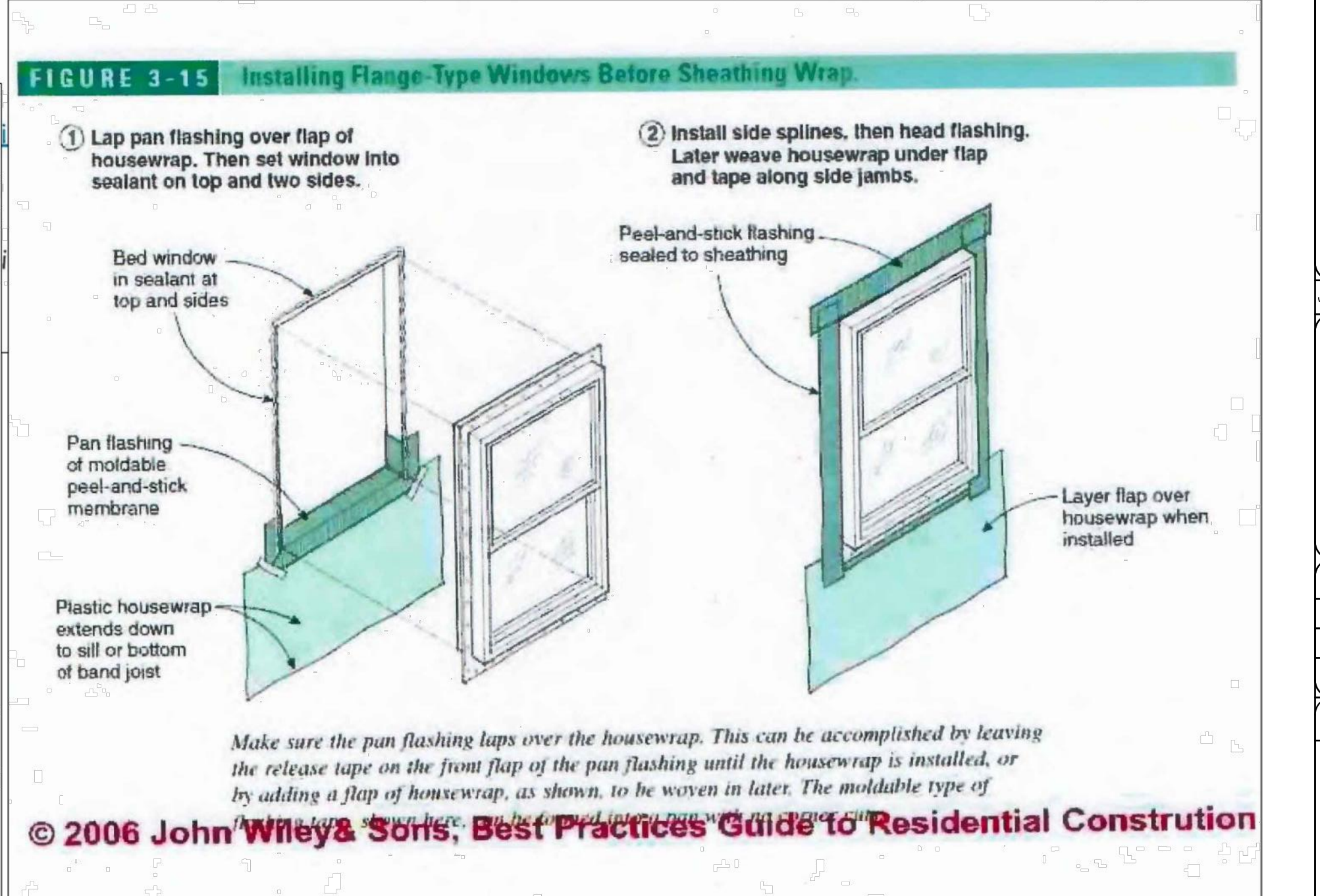
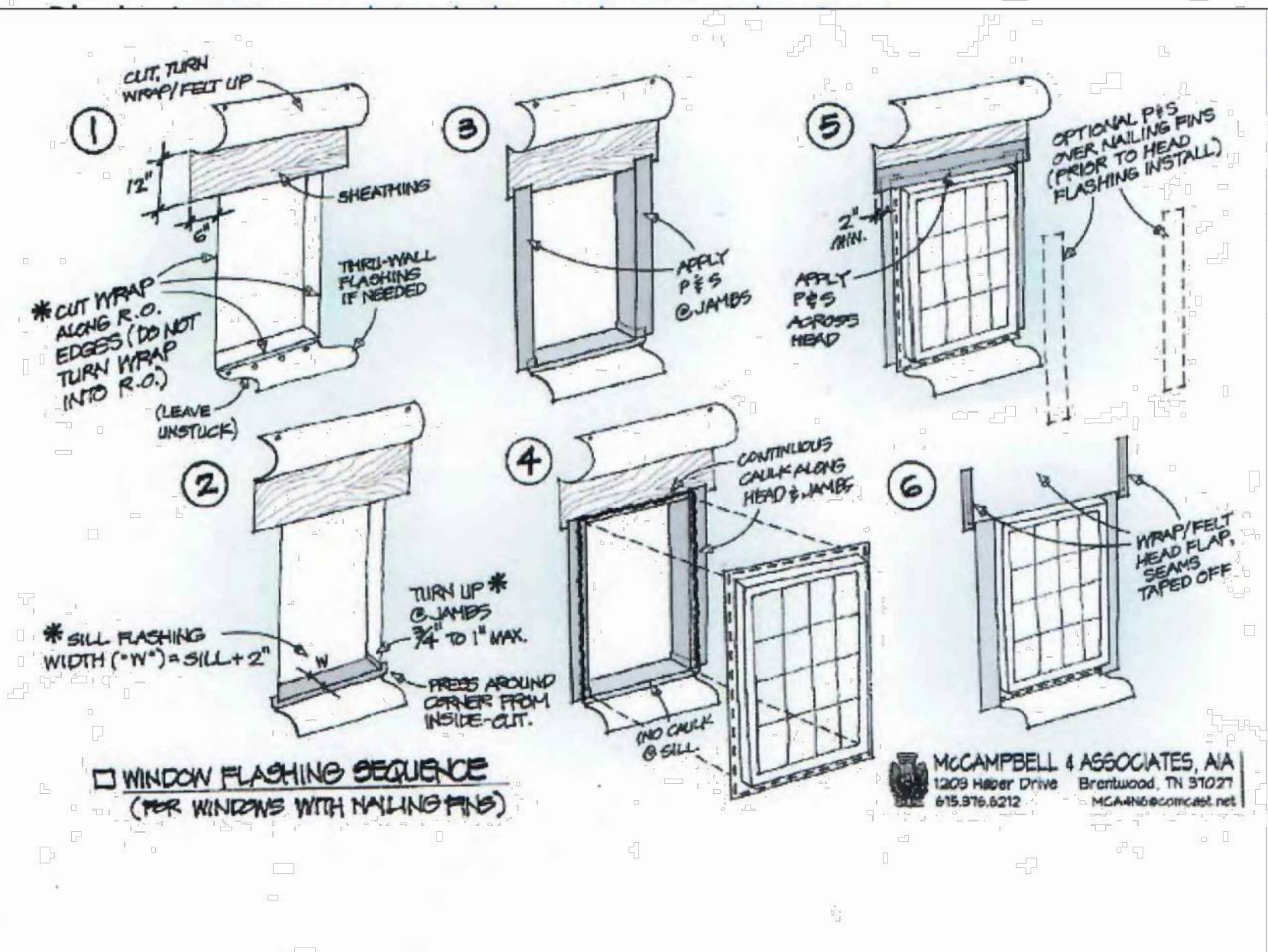
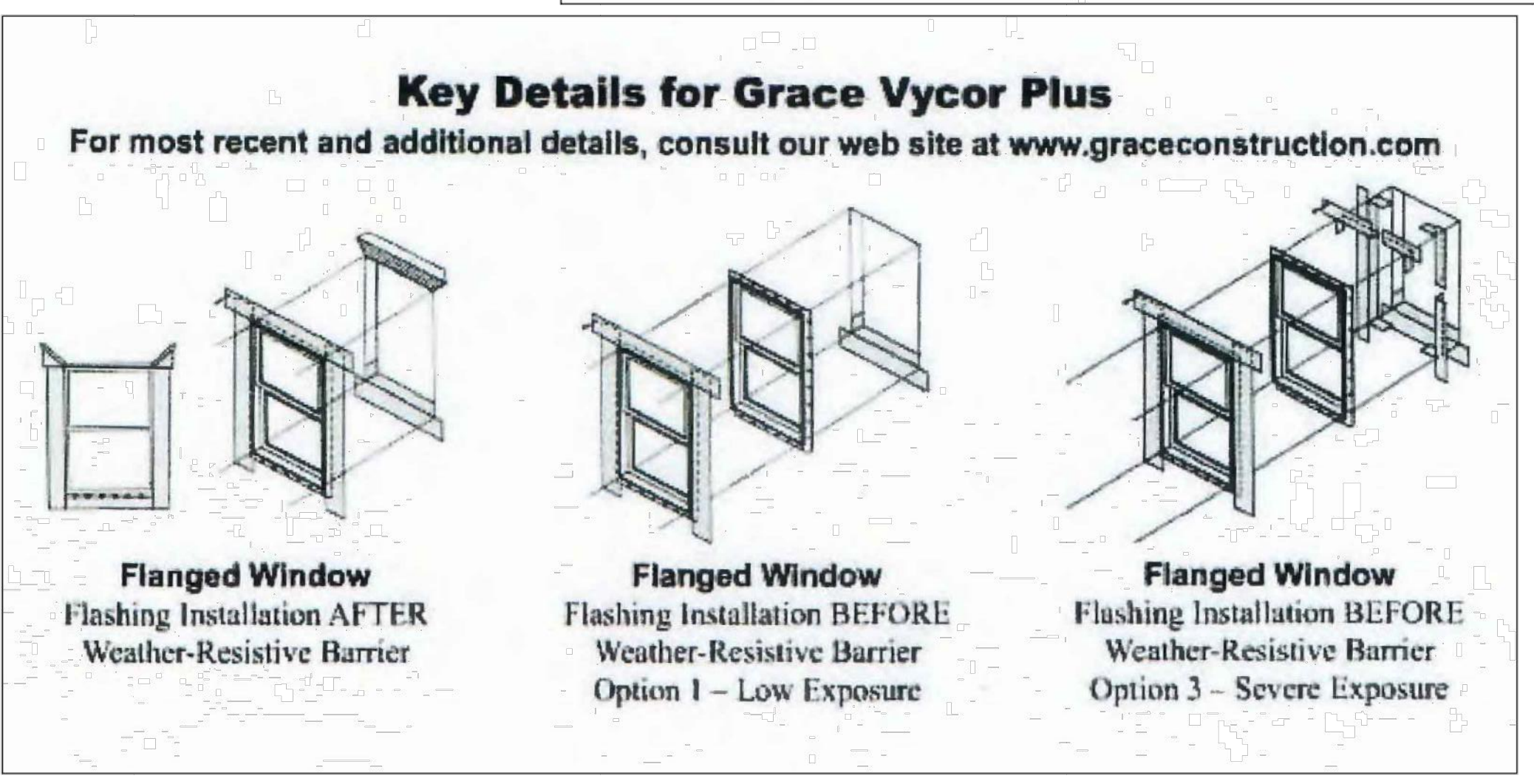
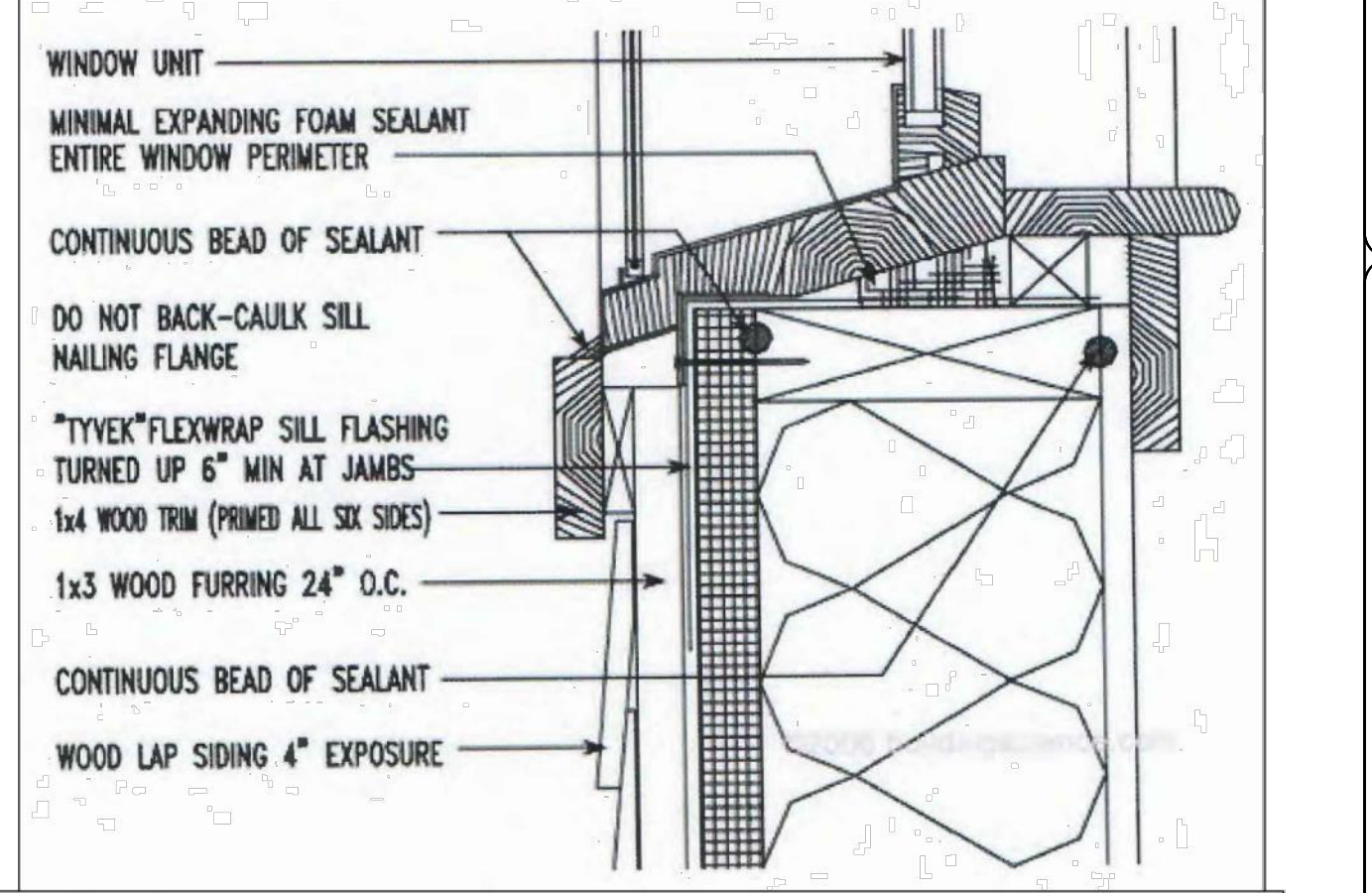
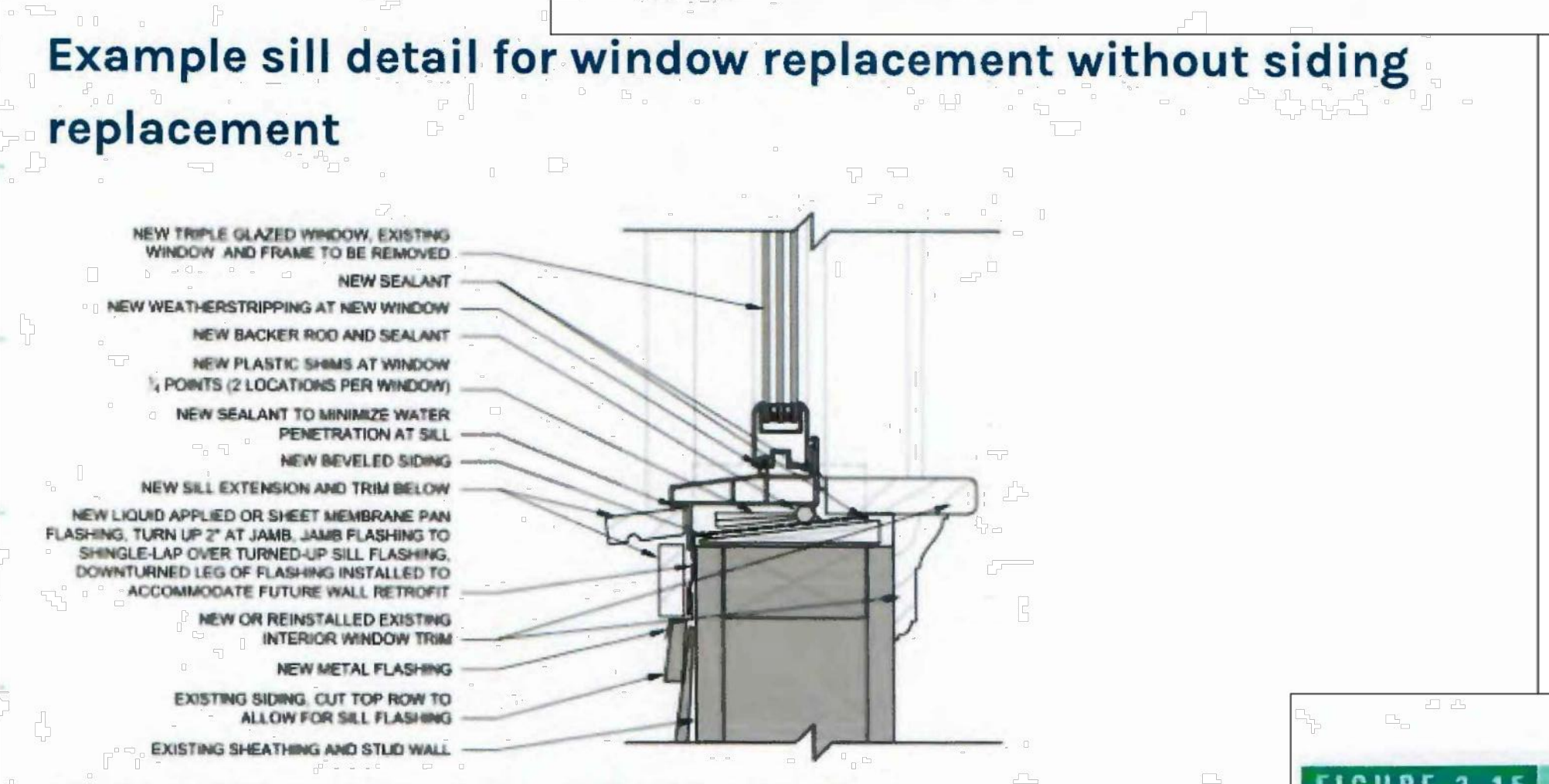
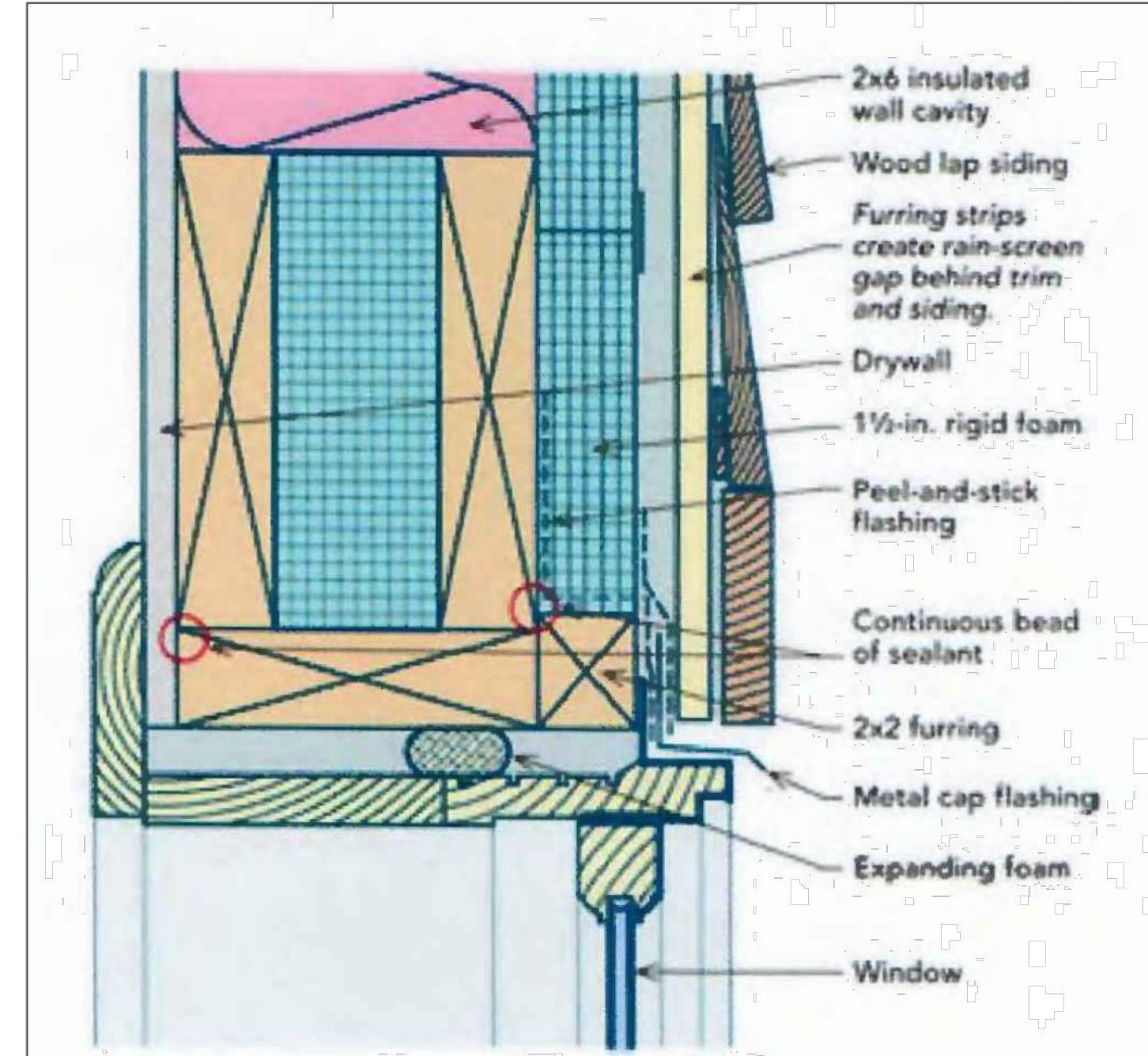
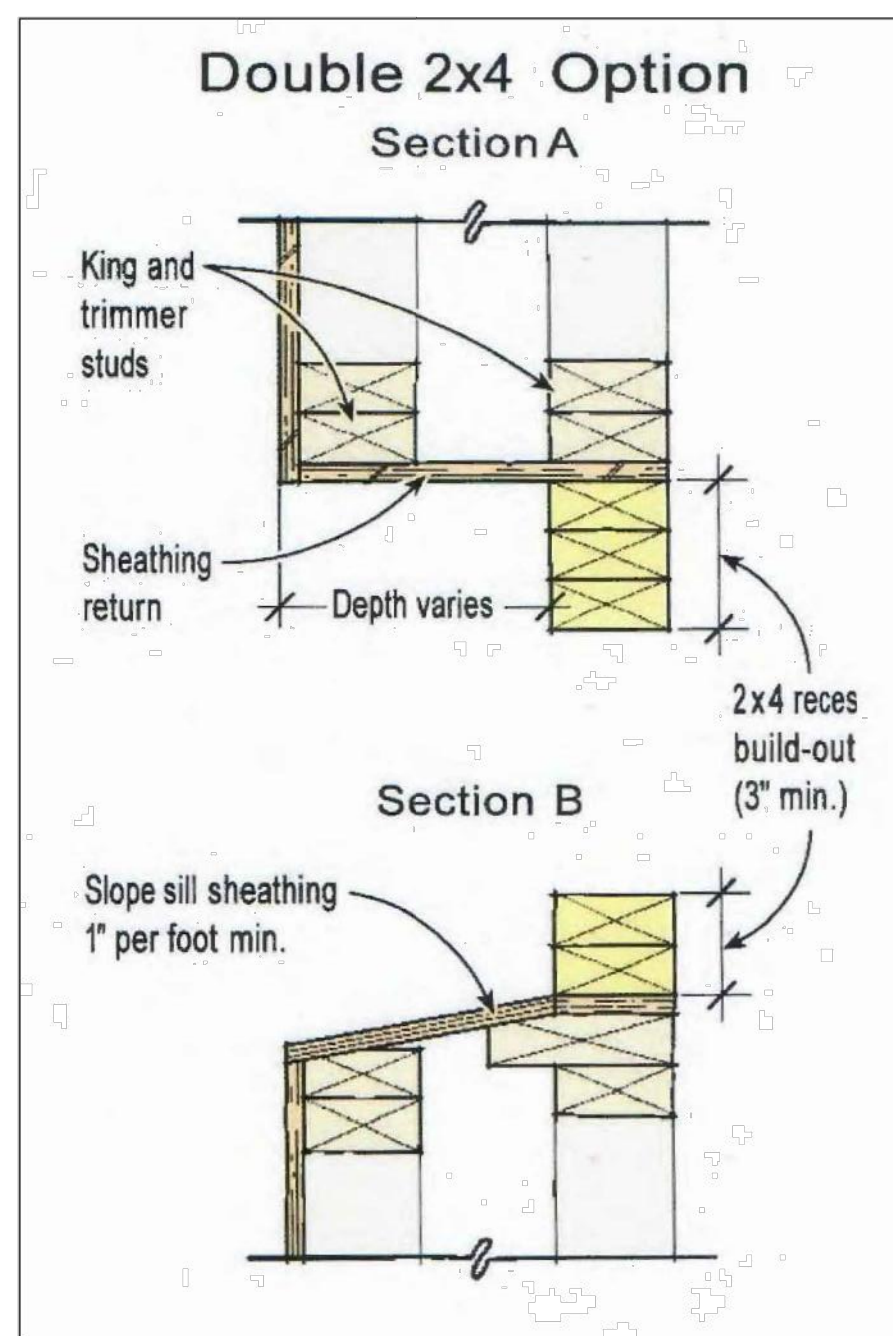
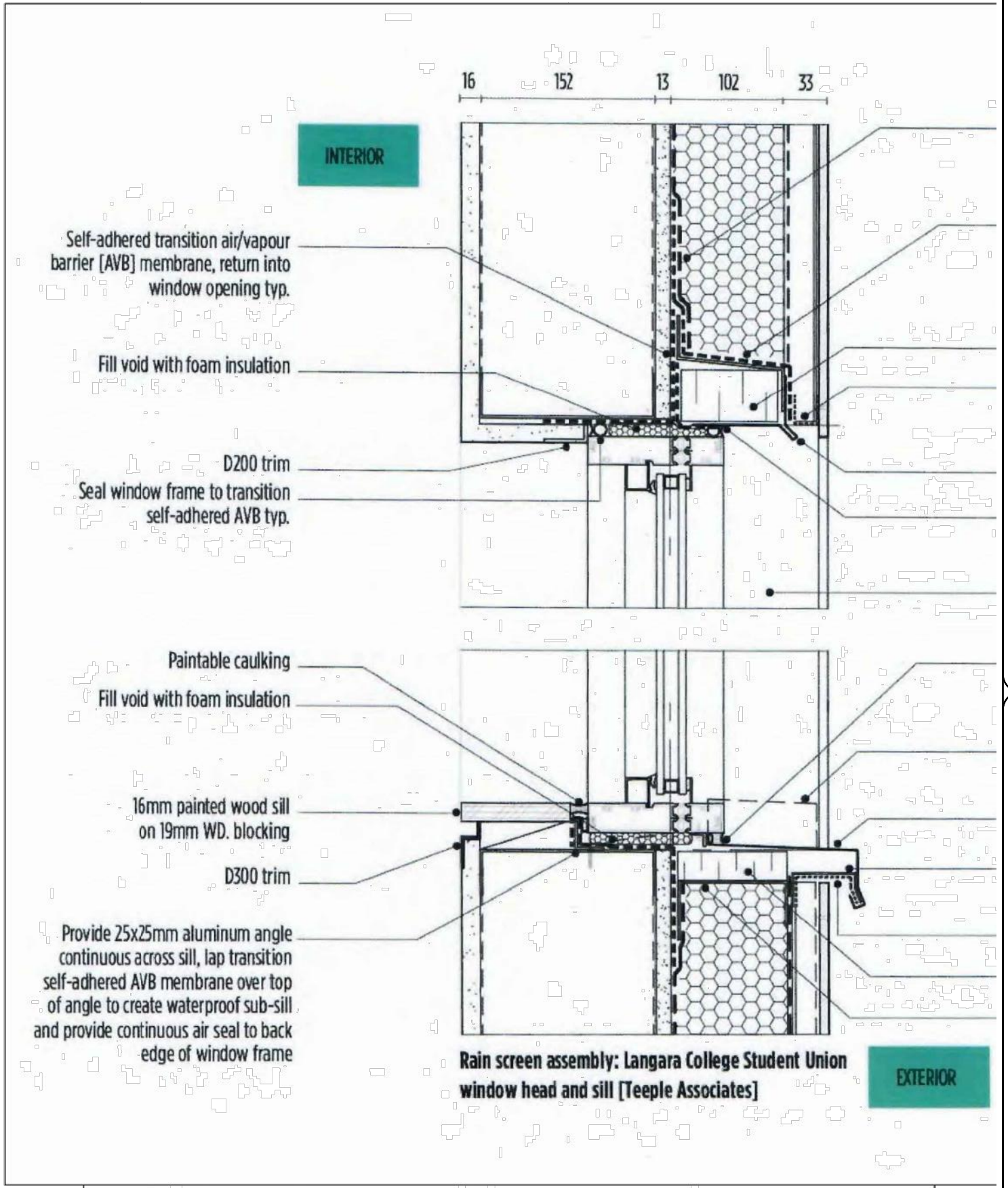
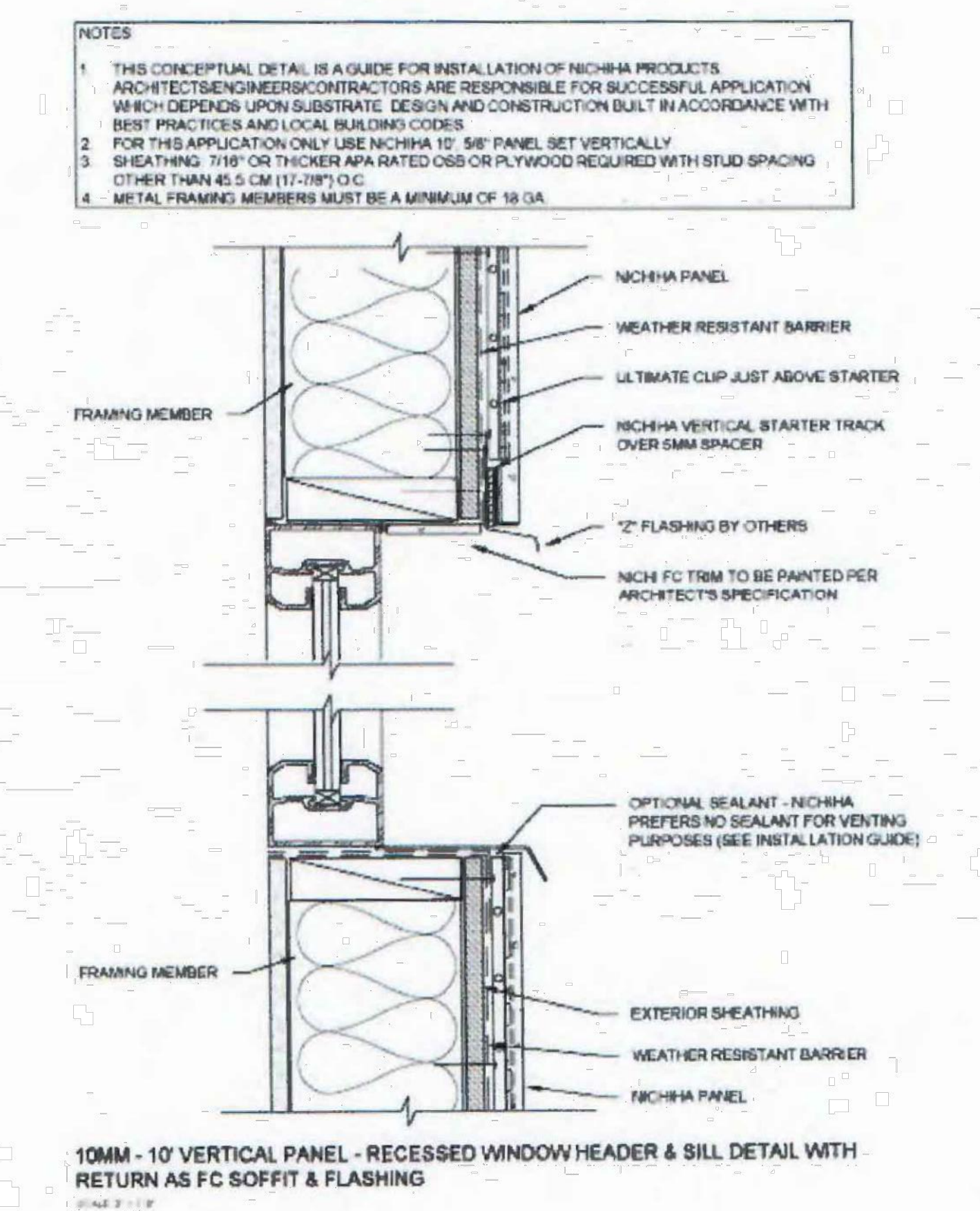
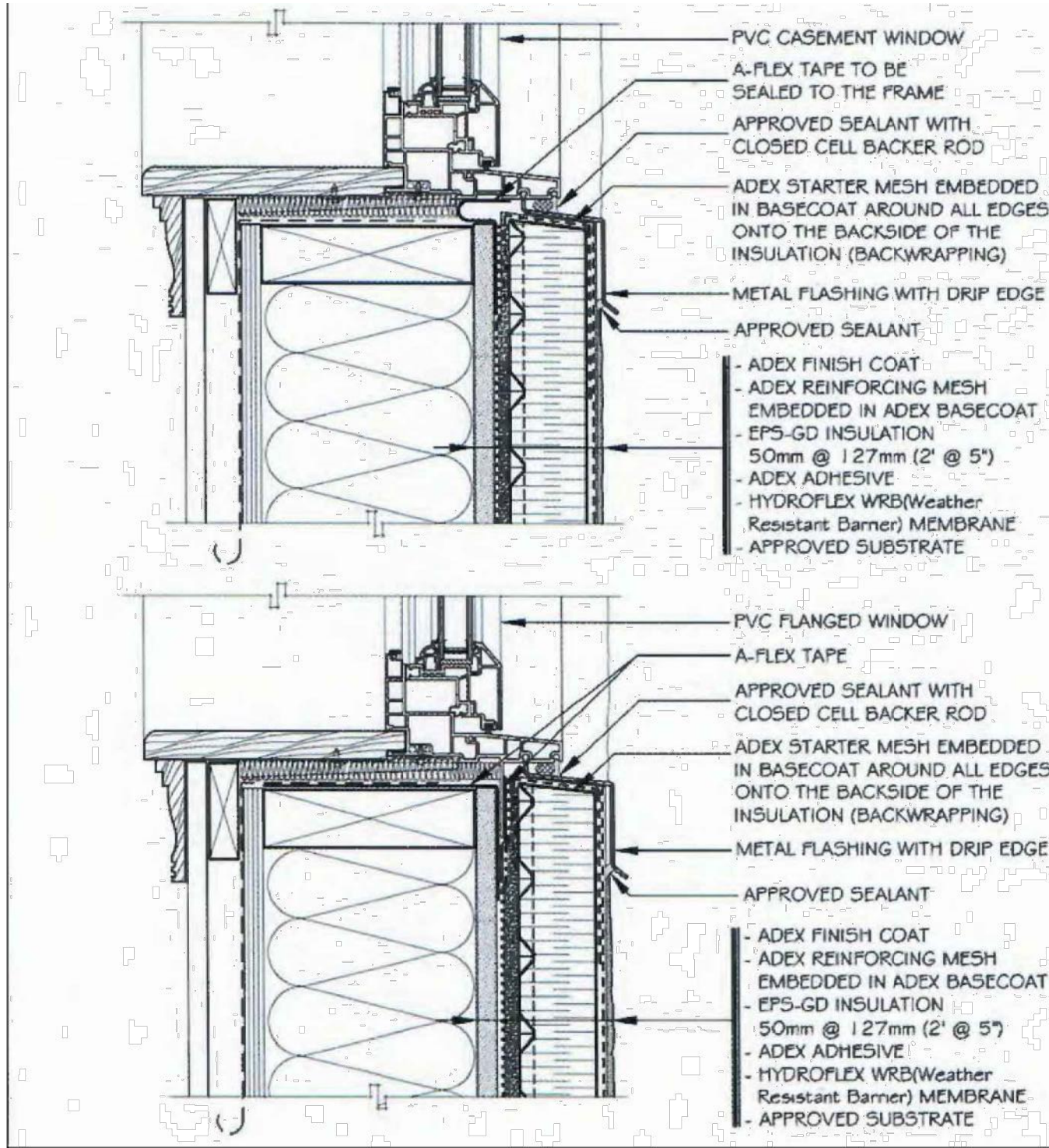
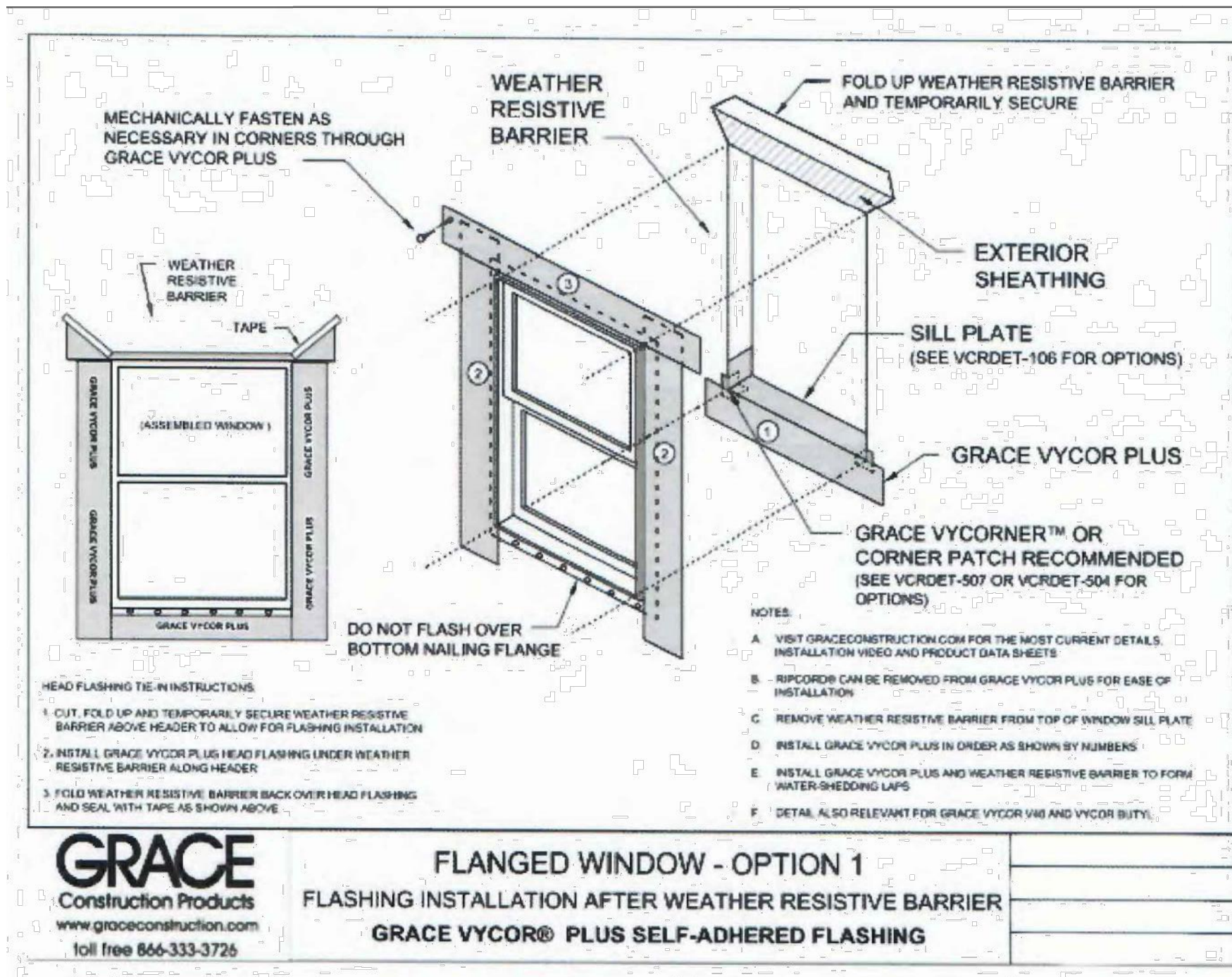
SHEET TITLE
ELEVATIONS,
SECTIONS

NOT FOR CONST.
ISSUED FOR PERMIT
ISSUED FOR CONST.

SCALE: 1/4"=1'-0"

SHEET NO.

A-6.a



OWNER: SERINE KARAPETYAN
ADDRESS: 1363 E. GARFIELD AVE. GLENDALE, CA 91205 (818) 461-4475

CONSULTING: SUSANNA SAHAKIAN
313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
E-MAIL: susansahak@yahoo.com
TEL: (818) 512-7380

PROJECT: PROPOSED 328 S.F. ADDITION TO (E) 1-STORY S.F.D.
ADDRESS: 1363 E. GARFIELD AVE. GLENDALE, CA, 91202

JOB NO: ** **

SHEET TITLE: WINDOW DETAILS

NOT FOR CONST.
ISSUED FOR PERMIT
ISSUED FOR CONST.

SCALE: N.T.S.
SHEET NO.

A-7a

Description:

The existing 1-story single-family dwelling was built in 1925 in the Spanish Colonial Revival architectural design style and is located in a moderate-density residential (R-3050) zone.

The scope of work for this project is:

- 328 SF addition to the front of the existing building
- New detached 622 SF 2-car garage

The new addition preserves the facade of the existing building's original Spanish Colonial Revival architectural design style.

By keeping the details, the height, and the finishing materials of the new addition match the existing building's details, height, and wall/roof materials in color and texture, we tried to attain an organic addition to the original existing facade.

The existing building with the new addition in the front and the new 2-car garage in the back yard complies with the zoning codes - of the minimum: 25' front setback, 5' interior setbacks. Also, the addition does not change the height of the existing building, which allows the proposed building still to be harmonious with the neighboring houses.

There is a new 18" wide landscape area that creates a safe walkway separated from the existing driveway.

The existing backyard landscape consists of grass and some nice small, mostly fruit trees.

The existing front/street side landscape consists mostly of grass and remains as is.

The replacement of the existing portable storage with a new 2-car garage at the back of the property and the new addition in the front during the construction will not disturb the existing landscape for

PHOTOS OF THE EXISTING HOUSE



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION (partial rear view)



NORTH ELEVATION (partial rear view)



EAST ELEVATION (view from rear)



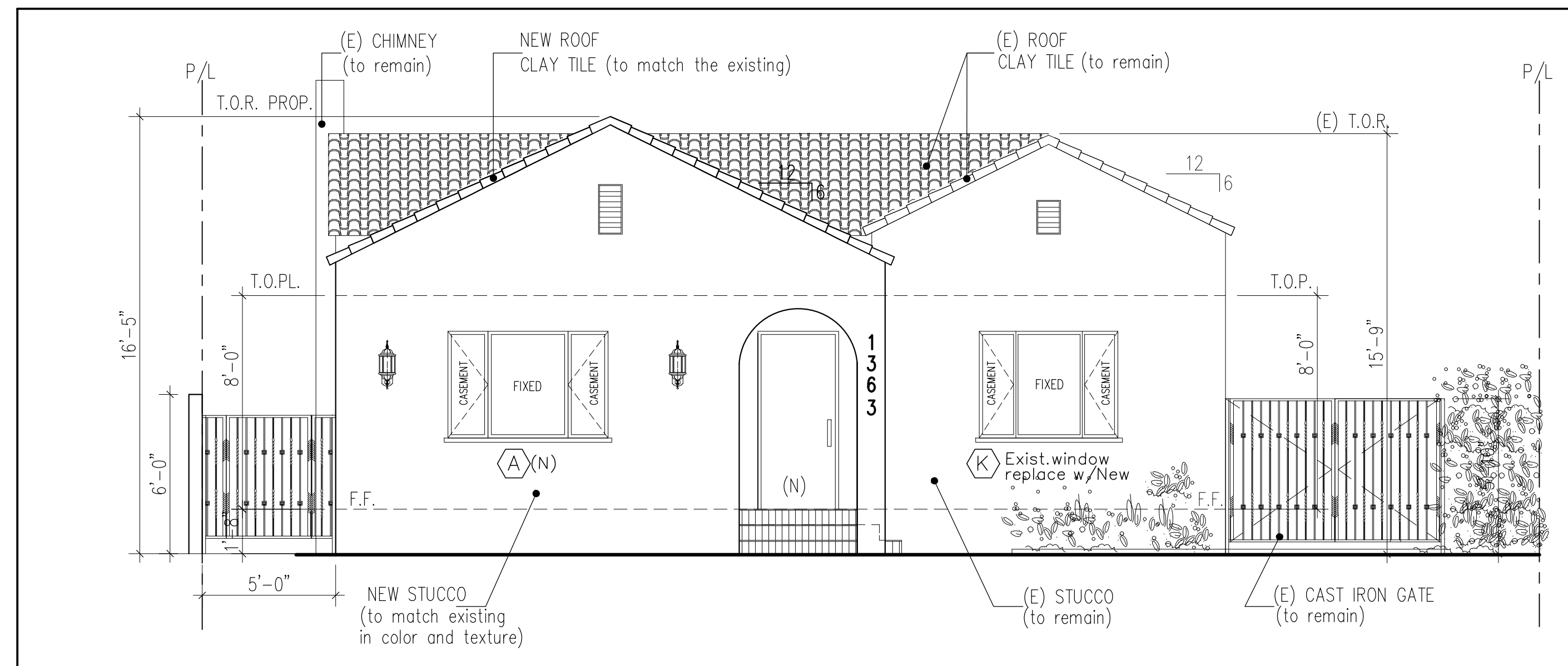
NEIGHBORING PROPERTY (West)



SOUTH ELEVATION (subject property)



NEIGHBORING PROPERTY (East)



PROPOSED SOUTH (FRONT) ELEVATION



EXISTING SOUTH (FRONT) ELEVATION

OWNER: SERINE KARAPETYAN
 ADDRESS: 1363 E. GARFIELD AVE.
 GLENDALE, CA 91205
 (818) 461-4475

CONSULTING: SUSANNA SAHAKIAN
 313 E. GLENOAKS BLVD. #B, GLENDALE, CA, 91207
 E-MAIL: susanshahak@yahoo.com
 TEL: (818) 512-7380

PROJECT: PROPOSED 328 S.F. ADDITION TO (E) 1-STORY S.F.D.
 ADDRESS: 1363 E. GARFIELD AVE.
 GLENDALE CA, 91202

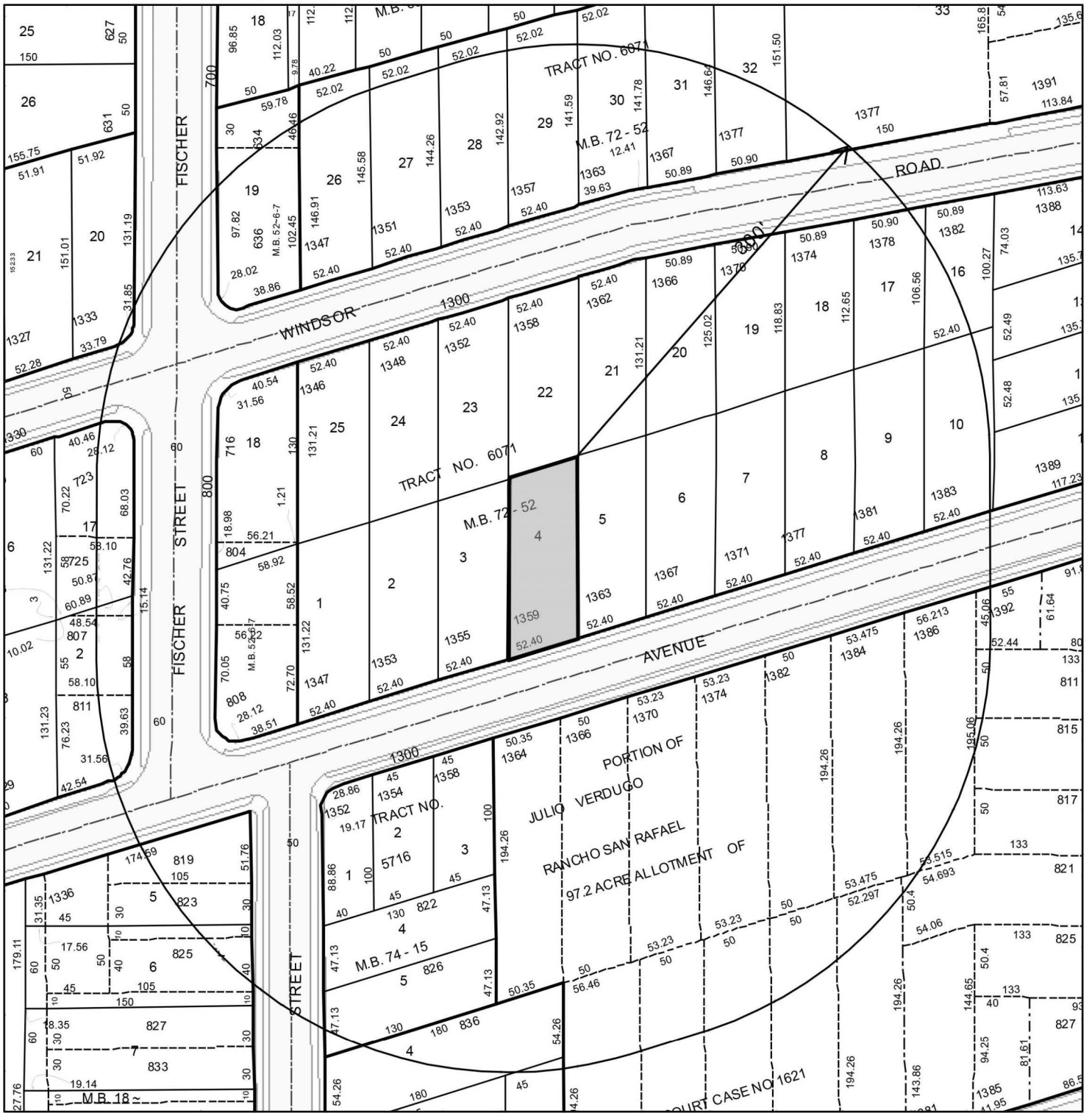
JOB NO: ***

SHEET TITLE
 PHOTOS

NOT FOR CONST.
 ISSUED FOR PERMIT
 ISSUED FOR CONST.


SCALE: 1/4"=1'-0"
 SHEET NO.

A-5a



SCALE: 1" = 100'

LOCATION MAP
1363 E GARFIELD AVE
GLENDALE, CA 91205
APN: 5679-030-008
300' RADIUS
DATE: 06-04-2024




Survey List

Number	Address	Stories	Approx Setback (ft)	Floor Area Ratio	House Size (sf)	Lot Size (sf)	Misc
1	1363 E Garfield Ave						SFR
2	1367 E Garfield Ave	1	24.3	0.16	1082	6560	SFR
3	1371 E Garfield Ave	2	21.2	0.41	2673	6560	4 Units
4	1377 E Garfield Ave	1	20.2	0.12	812	6560	SFR
5	1381 E Garfield Ave	1	22.2	0.25	1653	6560	SFR
6	1383 E Garfield Ave	1	20.8	0.32	2076	6560	Duplex
7	1389 E Garfield Ave	2	5.3	0.37	2522	6730	4 Units
8	807 S Verdugo Rd	1	20.1	0.21	1311	6100	SFR
9	1392 E Garfield Ave	1	13.9	0.3	828	2800	SFR
10	1386 E Garfield Ave	1	25.8	0.13	1319	10020	SFR
11	1384 E Garfield Ave	1	28.5	0.08	844	9950	SFR
12	1382 E Garfield Ave	1	31.9	0.09	788	9150	SFR
13	1374 E Garfield Ave	1	25.6	0.43	4270	9900	3 Units
14	1370 E Garfield Ave	2	25.6	0.82	8122	9900	9 Units
15	1366 E Garfield Ave	3	15.7	0.93	8498	9150	9 Units
16	1364 E Garfield Ave	3	17.6	0.93	8498	9150	9 Units
17	1358 E Garfield Ave	2	20.6	0.25	1085	4260	SFR
18	1354 E Garfield Ave	1	21.6	0.19	804	4260	SFR
19	1352 E Garfield Ave	1	20.1	0.28	1070	3770	Duplex
20	819 Fischer St	1	24.7	0.26	992	3780	SFR
21	808 Fischer St	1	20.7	0.18	831	4490	SFR
22	1347 E Garfield Ave	1	15.5	0.14	888	6560	SFR
23	1353 E Garfield Ave	1	20.6	0.23	1524	6560	3 Units
24	1355 E Garfield Ave	1	22.1	0.2	1324	6560	Duplex
25	1359 E Garfield Ave	1	14.3	0.26	1735	6560	SFR
26	1358 E Windsor Rd	1	22.9	0.27	1755	6560	Duplex
27	1362 E Windsor Rd	1	18.1	0.23	1522	6560	SFR
28	1366 E Windsor Rd	1	26.1	0.2	1339	6560	Duplex
Averages		1.3	21	0	2228	6746	

Photo 1 – 1363 E Garfield Ave



Photo 2 – 1367 E Garfield Ave



Photo 3 – 1371 E Garfield Ave



Photo 4 – 1377 E Garfield Ave



Photo 5 – 1381 E Garfield Ave



Photo 6 – 1383 E Garfield Ave



Photo 7 – 1389 E Garfield Ave



Photo 8 – 807 S Verdugo Rd



Photo 9 – 1392 E Garfield Ave



Photo 10 – 1386 E Garfield Ave



Photo 11 – 1384 E Garfield Ave



Photo 12 – 1382 E Justin Ave



Photo 13 – 1374 E Garfield Ave



Photo 14 – 1370 E Garfield Ave



Photo 15 – 1366 E Garfield Ave



Photo 16 – 1364 E Garfield Ave



Photo 17 – 1358 E Garfield Ave



Photo 18 – 1354 E Garfield Ave



Photo 19 – 1352 E Garfield Ave



Photo 20 – 819 Fischer St



Photo 21 – 808 Fischer St



Photo 22 – 1347 E Garfield Ave



Photo 23 – 1353 E Garfield Ave



Photo 24 – 1355 E Garfield Ave



Photo 25 – 1359 E Garfield Ave



Photo 26 – 1358 E Windsor Rd



Photo 27 – 1362 E Windsor Rd



Photo 28 – 1366 E Windsor Rd



CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: July 1, 2024 **DUE DATE:** July 30, 2024
NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Alan Lamberg, Planner **Tel. #** 818-937-8158

PROJECT ADDRESS: 1363 East Garfield Avenue, Glendale 91205

Applicant: Susanna Sahakian

Property Owner: Serine Karapetyan

PROJECT DESCRIPTION: Located in the Somerset neighborhood; a 328-SF addition, a 27-SF front porch to the front of a single-family house, and replacement windows and doors, and a new detached 622-SF 2-car garage (intended to be converted into an accessory dwelling unit).

PLEASE CHECK:

A. CITY ATTORNEY

B. COMMUNITY DEVELOPMENT:

- (1) Building & Safety
- (2) Neighborhood Services
- (3) Design Review & Historic
- (4) Economic Development
- (5) Housing
- (6) Urban Design & Mobility

D. COMMUNITY SERVICES/PARKS:

E. FIRE ENGINEERING (PSC)

F. GLENDALE WATER & POWER:

- (1) Water
- (2) Electric

G. INFORMATION SERVICES (Wireless Telecom)

H. PUBLIC WORKS (ADMINISTRATION):

- (1) Engineering & Land Development
- (2) Traffic
- (3) Facilities (city projects only)
- (4) Integrated Waste
- (5) Maintenance Services/Urban Forester

J. GLENDALE POLICE

K. OTHER:

- (1) STATE-Alcohol Beverage Control (ABC)
- (2) Tribal Consultations (EIFs)
- (3) City Clerk's Office

ENTITLEMENT(S) REQUESTED

Variance Case No.: _____

AUP/CUP Case No.: _____

ADR/DRB Case No.: PADR-003469-2024

Tentative Tract/Parcel Map No.: _____

Zone Change/GPA: _____

Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project

Address: 1363 East Garfield Avenue

Project

Case No.: PADR-003469-2024

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

This office **DOES NOT** have any comment.

This office **HAS** the following comments/conditions. (See attached Dept. Master List)

Date: 7/30/2024

Print Name: Jose A. Munoz

Title: Arborist Technician **Dept.:** PW Forestry **Tel.:** x. 3402

a. ADDITIONAL COMMENTS:

1. **SUMMARY**

The subject property is a Single-family residence in the Somerset neighborhood. Plans propose to construct a 328-SF addition, a 27-SF front porch to the front, replace windows and doors, along with a new detached 2 car garage. Project as presented will require further information on plans to determine requirements from Forestry. See below.

INDIGENOUS TREE ORDINANCE

It is unclear whether there are any Indigenous Protected Trees on site or within 20 feet of subject property. Applicant shall accurately represent all Indigenous Protected Trees on site and within 20 feet of subject property. If applicant is unsure, they may request a Forestry inspection and or submit a photographic survey.

CITY STREET TREES

There is currently one (1) City Street tree located on parkway adjacent to subject property. City Street tree is one (1) Australian flame tree (*Brachychiton acerifolius*) listed to be in fair condition. Forestry will require the protection/preservation of tree in parkway as a condition of this permit. A Street Tree Permit along with Tree Protection Plan will be required to perform the work. One new City Street tree will be required as a condition of this permit, along with irrigation to irrigate the new tree. See "Recommendations" below.

RECCOMENDATIONS

1. Accurately represent Indigenous protected Trees and existing City Street Tree on plans. Include name, dimension, and approximate canopy shape to scale. For more information, please visit www.glendaletrees.org. Depict proposed location for new City Street Tree on plans.
2. Draft Tree Protection Plan for the conservation of (1) City Street Tree

3. Apply for and obtain a Street Tree Permit prior to commencing the work.
4. Plant a total of 1 new City Street Tree adjacent to subject property in new tree well provided by developer. New tree must be 24" minimum root ball diameter at time of install. New tree species may be Australian flame tree (*Branchycton acerifolius*)
5. Automatic Irrigation to irrigate new City Street Tree
6. Contact Forestry 48 hours prior to planting replacement City Street tree, to accept quality of nursery stock.
7. Planting must be executed to City Standards (See attachment for planting diagram)
8. Contact Forestry post planting to finalize permit.

I can be contacted at x. 3402 or JoseMunoz@GlendaleCa.Gov

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- 1.

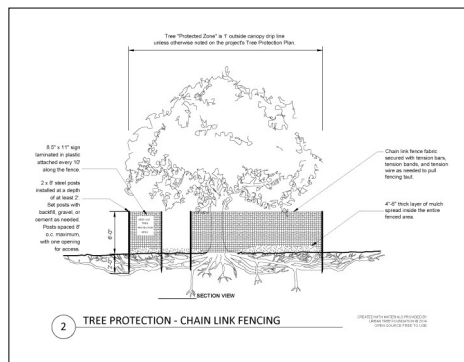
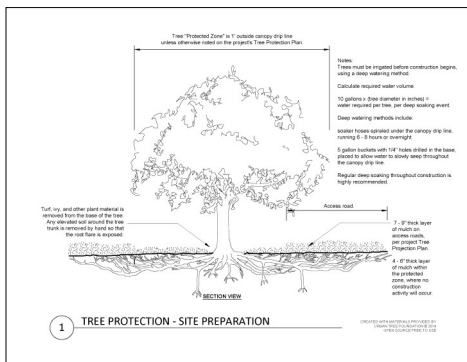
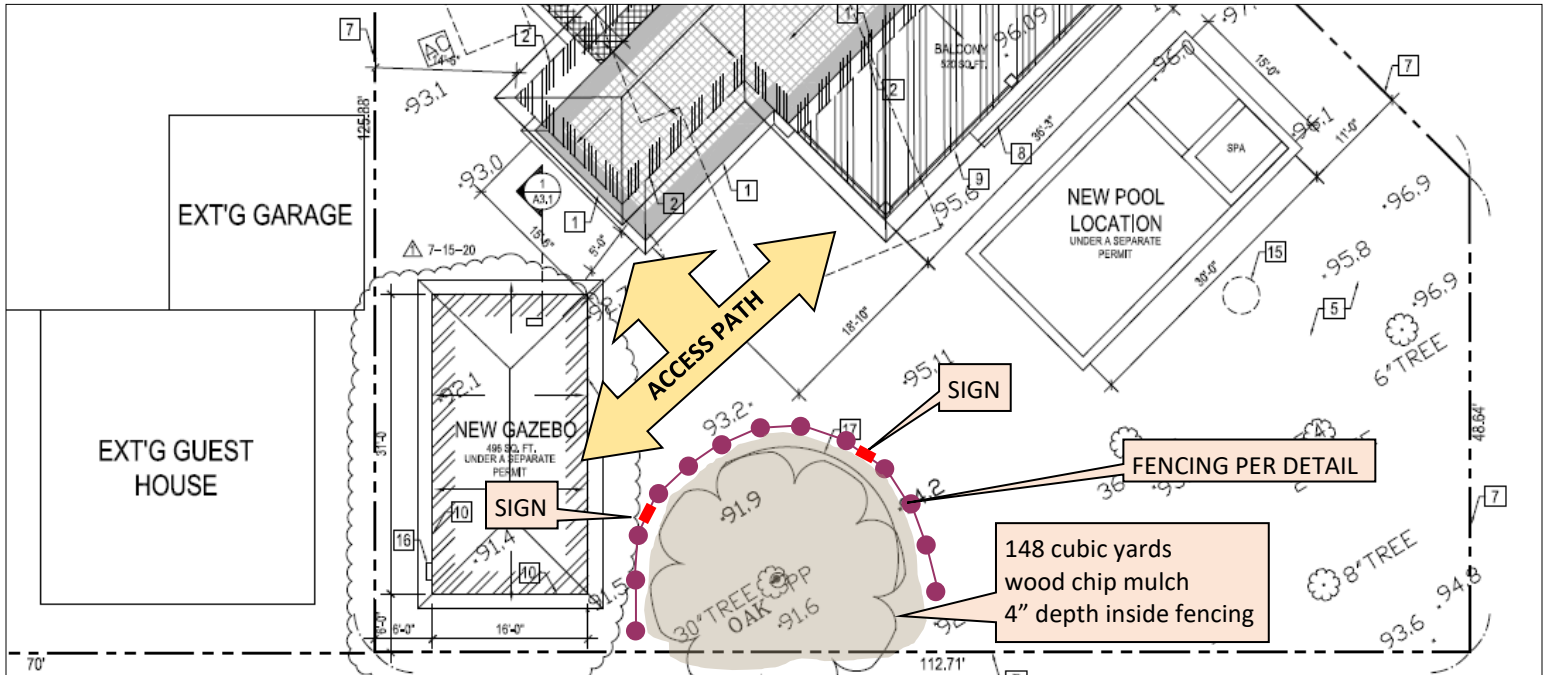
c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

- 1.

How Do I Create a Tree Protection Plan?

- 1 Make sure your site plan shows the location of ALL construction activities planned — including grading, over-excavation, trenching, compaction, and the installation of underground utilities, as well as all protected trees on site and within 20' of the site.
- 2 DRAW THE CONSTRUCTION ACCESS PATH for foot traffic, heavy machinery, deliveries, and material storage.
- 3 DRAW the TREE PROTECTION FENCING around the protected trees on site. Show exactly where each fence POST will be installed in the ground and where each SIGN will be installed on the fencing, per the attached detail. The fencing should enclose as much of the Protected Zone (under the canopy, plus 1' outside) as possible.
- 4 NOTE where soil conditions must be improved per the attached detail, and include the volume of WOOD CHIP MULCH to be installed on site (cubic yards).

EXAMPLE TREE PROTECTION PLAN



WARNING

TREE PROTECTION ZONE

KEEP OUT.

CALL 818-648-3950 TO REPORT VIOLATIONS

ADVERTENCIA

ZONA DE PROTECCIÓN DE ÁRBOLES

NO ENTRAR.

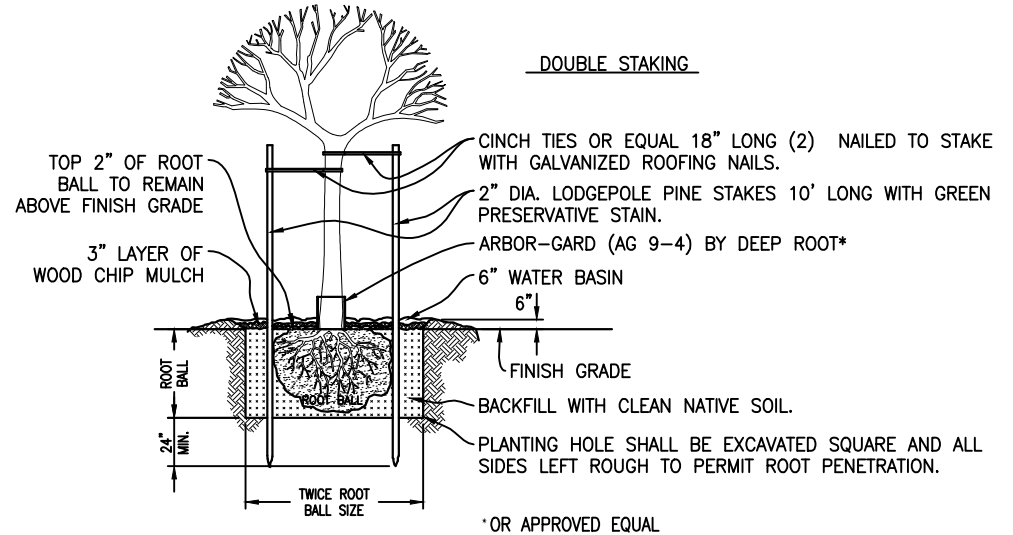
LLAMAR AL TEL 818-648-3950 PARA REPORTAR INFRACCIONES

For more information, visit www.glenclaretrees.org

INDIVIDUAL TREE PROTECTION MEASURES	
1. QUALITY CONTROL	Verify all measurements, calculations, and drawings and indicate the exact location of the protected zone, canopy drop line, and other critical information on the plan. Verify the location of all trees on site, including protected trees, and indicate the exact location of the protected zone, canopy drop line, and other critical information on the plan. Verify the location of all trees on site, including protected trees, and indicate the exact location of the protected zone, canopy drop line, and other critical information on the plan.
2. PROTECTED ZONE	The "Protected Zone" is 1' outside canopy drop line unless otherwise noted on the project's Tree Protection Plan.
3. ACCESS PATH	Draw the access path for foot traffic, heavy machinery, deliveries, and material storage. The access path should be drawn around the protected trees and should be as narrow as possible.
4. FENCING PER DETAIL	Draw the tree protection fencing around the protected trees on site. Show exactly where each fence post will be installed in the ground and where each sign will be installed on the fencing, per the attached detail. The fencing should enclose as much of the Protected Zone (under the canopy, plus 1' outside) as possible.
5. MULCH	Note where soil conditions must be improved per the attached detail, and include the volume of wood chip mulch to be installed on site (cubic yards).
6. SIGNAGE	Draw signs for the protected trees, including the tree name, species, size, and location. The signs should be placed at the entrance to the protected zone and should be clearly visible.
7. IRIGATION	Draw the irrigation system for the protected trees, including the location of the soaker hoses and the location of the water source. The irrigation system should be designed to provide adequate water to the trees during construction.
8. CONSTRUCTION ACTIVITIES	Draw all construction activities planned on the site, including grading, over-excavation, trenching, compaction, and the installation of underground utilities. The construction activities should be drawn around the protected trees and should be as narrow as possible.
9. PERMITTING	Obtain all necessary permits for the project, including the Tree Protection Plan, the Tree Protection Fencing, and the Tree Protection Mulch. The permits should be obtained before construction begins.
10. MONITORING	Monitor the protected trees and the construction activities during construction. The monitoring should be done by a qualified professional and should be done at regular intervals.
11. REPAIRS	Repair any damage to the protected trees or the construction activities during construction. The repairs should be done as quickly as possible and should be done to the satisfaction of the qualified professional.
12. COMPLETION	Remove the tree protection fencing and the tree protection mulch after construction is complete. The removal should be done as quickly as possible and should be done to the satisfaction of the qualified professional.

TREE PLANTING NOTES:

1. DIG THE DIAMETER OF THE PLANTING HOLE AT LEAST TWO (2) TIMES WIDER THAN THAT OF THE ROOT BALL.
2. DIG THE DEPTH OF THE PLANTING HOLE SHALLOW ENOUGH TO ALLOW FOR THE TOP TWO (2") INCHES OF THE ROOT CROWN TO REMAIN ABOVE THE FINISH GRADE.
3. TAMP DOWN THE BASE OF THE HOLE TO ALLOW THE TREE TO STAND STRAIGHT AND TO AVOID THE POTENTIAL OF THE TREE SETTLING BELOW THE FINISH GRADE.
4. POUND TWO (2) LODGEPOLE PINE TEN (10') FOOT LONG STAKES TO A DEPTH OF TWENTY-FOUR (24") INCHES BELOW BOTTOM OF PLANTING HOLE. ENSURING THAT THE TOP OF THE STAKE IS SLIGHTLY BELOW THE LOWEST LATERAL LIMBS OF THE CANOPY.
5. ATTACH A MINIMUM OF TWO (2) INCH TIES TO TIE THE TREE TO THE STAKES, LEAVING THE TIES LOOSE ENOUGH AROUND THE TRUNK TO ALLOW THE TREES TO SWAY SLIGHTLY.
6. SCARIFY OR SCRAPE THE SIDES OF THE PLANTING HOLE.
7. BACKFILL THE PLANTING HOLE WITH CLEAN, NATIVE SOIL NO HIGHER THAN HALFWAY UP THE ROOTBALL. SLIGHTLY TAMP THE SOIL TO REMOVE AIR POCKETS, BUT BE SURE NOT TO COMPACT THE SOIL TOO MUCH.
8. COMPLETE THE BACKFILLING TO THE FINISH GRADE. ONCE AGAIN, TAMP THE SOIL SLIGHTLY TO REMOVE AIR POCKETS.
9. FORM A WATERING BASIN OUT OF BACKFILL MATERIAL, APPROXIMATELY SIX (6) INCHES HIGH. THE BASIN SHALL BE INSTALLED FOUR (4") INCHES OUTSIDE OF AND AROUND THE EDGE OF THE PLANTING HOLE.
10. REMOVE ALL NURSERY STAKES, TIES AND RIBBONS FROM THE TREE.
11. INSTALL A THREE (3") TO FOUR (4") INCHES LAYER OF CITY APPROVED WOOD CHIP MULCH WITHIN THE PLANTING BASIN OF THE TREE. A SPACE OF THREE (3") INCHES SHALL BE LEFT BETWEEN THE TREE'S STEM AND THE MULCH LAYER TO ALLOW AIRFLOW AND TO RESTRICT MOISTURE FROM REMAINING STATIC AROUND THE BASE OF THE TRUNK.
12. GIVE THE NEW TREE AN INITIAL DEEP WATERING.
13. ALL SPECIMEN PLANT MATERIALS, SHRUBS AND LAWN SHALL BE APPROVED BY THE ENGINEER PRIOR TO THE INSTALLATION.
14. SPECIMEN TREES IN BOXES SHALL BE GUARANTEED FOR (2) YEAR. UPON COMPLETION OF WORK APPROVED BY THE CITY OF GLENDALE, THE CONTRACTOR SHALL PERFORM A TWO-YEAR (2) MAINTENANCE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SKATING ALL SEWER, ELECTRICAL, WATER MAIN LINES, AND UTILITIES PRIOR TO PLANTING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COSTS INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
16. THE CONTRACTOR SHALL EXERCISE CARE WHILE WORKMEN ARE DIGGING AROUND.



PLANTING TREE IN PARALLEL
NOT TO SCALE

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project Address: 1363 East Garfield Avenue	Project Case No.: PADR-003469-2024
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If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

- This office **DOES NOT** have any comment.
- This office **HAS** the following comments/conditions. (See attached Dept. Master List)

Date: July 1, 2024

Print Name: Amirah Limayo

Title: Senior Administrative Analyst **Dept:** Community Services & Parks **Tel:** (818) 548-2057

a. ADDITIONAL COMMENTS:

- 1. This project is subject to appropriate provisions of the Public Use Facilities Development Impact Fee Ordinance which requires that fees be paid to offset impacts on parks, recreation and library facilities. Developer should complete the Development Impact Fee forms for staff to calculate the appropriate amount of the fee due based upon the net new square footage and/or new units added.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

- 1.

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COMMENTS:

- This office **DOES NOT** have any comment.
- This office **HAS** the following comments/conditions. (See attached Dept. Master List)

Date: 7/2/24		
Print Name: Jessica Sada		
Title: Admin. Associate	Dept.: Neighborhood Services, CDD	Tel.: 818-937-8167

a. ADDITIONAL COMMENTS:

- 1.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

- 1.

Lamberg, Alan

Subject: requests for comments 1363 E Garfield Ave PADR-003469 BSD



From: Sargsyan, Ara

Sent: Thursday, July 11, 2024 10:27 AM

To: Lamberg, Alan

Cc: Leung, Colin

Subject: RE: requests for comments 1363 E Garfield Ave PADR-003469

Hi Alan,

BSD has no initial comments for this project.

A full Set of plans shall be submitted to building Safety for review. Plans shall be in compliance with current edition of the City of Glendale Building and Safety Code.

After initial plan check submittal, additional requirements may follow accordingly.

Thank you,

Ara Sargsyan, PE, CBO, LEED AP | Building Official | City of Glendale | Community Development

633 E Broadway Room 101 | Glendale, CA 91206 | 818-937-8104

asargsyan@glendaleca.gov | www.glendaleca.gov | www.chooseglendaleca.com | [Connect With Us!](#)